



VIVID HOME INSPECTIONS

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RESIDENTIAL REPORT

1234 Main Street
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Buyer Name

03/22/2026 9:00AM



Inspector

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TABLE OF CONTENTS

1: Your Report	7
2: Inspection Details	9
3: Roof	10
4: Exterior	15
5: Heating & Cooling	28
6: Attic, Insulation & Ventilation	33
7: Crawlspace	39
8: Plumbing	44
9: Electrical	50
10: Interiors	53
11: Kitchen	59
12: Built-in Appliances	60
13: Laundry	63
14: Bathroom(s)	66
15: Final Walkthrough	67
16: HB - Appliance Information	67
Standards of Practice	71

This overview summarizes the inspector's findings from the inspection, but it may not encompass every detailed observation. It's offered as an extra service to our client, providing a list of items deemed by the inspector to warrant further attention, investigation, or improvement. Some conditions may necessitate repair or modification by a skilled professional, while others can be addressed by the homeowner themselves.

Following the inspector's recommendations often leads to improved performance and prolonged lifespan of the components in question. The inspector does not offer opinions on which party in the transaction should address these concerns. We advise consulting your Real Estate Professional for further guidance on handling the listed items, as with other aspects of your transaction.



ITEMS INSPECTED

MINOR DEFECT,
MAINTENANCE ITEM, OR FYI
ITEMS

MARGINAL DEFECT

SIGNIFICANT DEFECT OR
SAFETY HAZARDS

SUMMARY

IMPORTANT: A Home Inspection is NOT intended to reveal minor defects. Please familiarize yourself with the Standards-of-Practice for home inspectors and read the inspection agreement limitations.

You have contracted with Vivid Home Inspections to perform a generalist inspection in accordance with the Standards-of-Practice. This home inspection is limited to a visual inspection. This means that we can only evaluate what we can see. There may be defects behind walls, under floor coverings, or which have been concealed from view by paint, personal items, or wall coverings.

Inspectors working for Vivid Home Inspections inspects properties in accordance with the N.J. Admin. Code § 13:40-15.16 Section 13:40-15.16 - Standards of practice and our Inspection Agreement. Items that are not listed in this report were not inspected. The observations and opinions expressed within the report take precedence over any verbal comments. It should be understood that the Inspector is only on-site for a few hours and will not comment on insignificant deficiencies, but confine the observations to truly significant defects or deficiencies that significantly affect the value, desirability, habitability or safety of the structure.

A Home Inspection is limited in scope and lower in cost than many individual inspections. Client is hereby informed that exhaustive inspections are available from specialists in multitude of disciplines such as roofing, plumbing, pools, heating and air conditioning, decking, electrical, fenestration (windows and doors) and environmental quality among others. Additional inspections by specialists in a particular field will be more exhaustive and thorough, and likewise cost significantly more than a home inspection. A Home Inspection is intended to identify evidence of problems which exist. Since home inspections are non-destructive, the home inspector can only report on the evidence that is observable at the time of the inspection. A home inspection is specifically not exhaustive in nature, and therefore cannot identify defects that may be discovered only through more rigorous testing than a home inspection allows. A generalist inspection is essentially visual and does not include the dismantling of any component, comprehensive or technically exhaustive as that by a specialist, and it is not intended to be.

- ⊖ 3.1.1 Roof - Covering: Excessive Granule Loss
- 🔧 3.1.2 Roof - Covering: Moss / Lichen Growth on Roof Covering
- ⊖ 3.1.3 Roof - Covering: Shingles - Damaged
- 🔧 3.1.4 Roof - Covering: Tree Debris on Roof
- ⚠️ 3.2.1 Roof - Penetrations & Flashing: Vent Boot – Visible Dip at Upper (Rear) Portion
- ⊖ 3.3.1 Roof - Roof Drainage Systems: Downspout Extension – Improperly Sloped
- ⊖ 3.3.2 Roof - Roof Drainage Systems: Gutter Guards – Improperly Installed or Damaged
- ⊖
- 4.1.1 Exterior - Vegetation, Surface, Grading, Drainage & Retaining Walls: Evidence of Tree Previously Located Too Close to Home
- ⊖
- 4.1.2 Exterior - Vegetation, Surface, Grading, Drainage & Retaining Walls: Tree Branches in Contact With Exterior Walls
- ⊖
- 4.1.3 Exterior - Vegetation, Surface, Grading, Drainage & Retaining Walls: Tree Located Too Close to Structure
- 🔧 4.1.4 Exterior - Vegetation, Surface, Grading, Drainage & Retaining Walls: Tree Overhanging Home
- ⚠️ 4.2.1 Exterior - Driveway & Walkway(s): Walkway Trip Hazard
- 🔧 4.3.1 Exterior - Siding, Flashing & Trim: Caulking Maintenance Needed at Siding and Trim
- ⊖ 4.3.2 Exterior - Siding, Flashing & Trim: Damaged Exterior Wall-Covering Material
- 🔧 4.3.3 Exterior - Siding, Flashing & Trim: Evidence of Previous Exterior Repairs
- ⊖ 4.3.4 Exterior - Siding, Flashing & Trim: Gap Observed Behind Brick Veneer
- ⊖ 4.3.5 Exterior - Siding, Flashing & Trim: Gaps in Siding Material
- ⊖ 4.3.6 Exterior - Siding, Flashing & Trim: Holes in Exterior Siding
- ⊖ 4.3.7 Exterior - Siding, Flashing & Trim: J-Channel – Missing
- ⊖ 4.3.8 Exterior - Siding, Flashing & Trim: Unsealed Exterior Penetration(s)
- ⊖ 4.3.9 Exterior - Siding, Flashing & Trim: Vegetation Growing Out Of Siding
- ⊖ 4.6.1 Exterior - Patio, Porch, & Balcony: Settlement Cracks at Porch or Patio
- ⚠️ 4.7.1 Exterior - Foundation: Concrete Block Foundation Heaving
- 🔧 4.7.2 Exterior - Foundation: Foundation Parging – Cracked and Chipping
- 🔧 4.7.3 Exterior - Foundation: Foundation Parging – Spalling
- ⚠️ 4.7.4 Exterior - Foundation: Significant Foundation Movement Observed
- ⊖ 4.9.1 Exterior - Eaves, Soffits & Fascia: Damaged Fascia
- ⚠️ 4.10.1 Exterior - GFCI Outlet(s): Exterior GFCI Did Not Test Functional
- ⚠️ 4.10.2 Exterior - GFCI Outlet(s): Open Ground Condition at Exterior Outlet
- ⊖ 4.13.1 Exterior - Water spigots: Damaged / Broken Components at Exterior Water Spigot
- ⊖ 5.1.1 Heating & Cooling - Heating Equipment: Heating System – Unusual Noises Observed During Operation
- ⊖ 5.2.1 Heating & Cooling - Cooling Equipment: Refrigerant Line Insulation – Missing or Damaged
- ⊖ 5.3.1 Heating & Cooling - HVAC Filter: HVAC Air Filter – Missing
- ⊖ 5.5.1 Heating & Cooling - Distribution Systems: Ductwork – Disconnected
- ⊖ 5.5.2 Heating & Cooling - Distribution Systems: HVAC Ductwork – Deteriorated or Corroded
- ⊖ 5.5.3 Heating & Cooling - Distribution Systems: HVAC Ductwork – Not Properly Sealed
- ⚠️ 6.1.1 Attic, Insulation & Ventilation - General: Bathroom Fan Exhausts Into Attic

- ⚠ 6.1.2 Attic, Insulation & Ventilation - General: Improperly Installed Attic Pull-Down Ladder
- 🔧 6.1.3 Attic, Insulation & Ventilation - General: Old Antenna Abandoned in Attic
- ⚠ 6.2.1 Attic, Insulation & Ventilation - Roof & Attic Structure: Cracked Roof Rafter
- ⚠ 6.2.2 Attic, Insulation & Ventilation - Roof & Attic Structure: Improperly Notched Roof Rafter
- ⊖ 6.2.3 Attic, Insulation & Ventilation - Roof & Attic Structure: Rafter Separating From Ridge Beam
- ⚠ 6.2.4 Attic, Insulation & Ventilation - Roof & Attic Structure: Structural Member Sistered Improperly
- ⊖ 6.3.1 Attic, Insulation & Ventilation - Attic Insulation: Insufficient Attic Insulation
- ⊖ 6.4.1 Attic, Insulation & Ventilation - Ventilation: Attic Fan Inoperable
- ⊖ 7.1.1 Crawlspace - General: Active Roots Observed in Crawlspace
- ⚠ 7.1.2 Crawlspace - General: Major Foundation Crack Observed in Crawlspace
- ⊖ 7.1.3 Crawlspace - General: Possible Microbial Growth Observed in Crawlspace
- ⚠ 7.1.4 Crawlspace - General: Standing Water Observed in Crawlspace
- ⊖ 7.2.1 Crawlspace - Vapor Retarders: Improper Vapor Retarder Material in Crawlspace
- ⚠ 7.3.1 Crawlspace - Homes Floor Structure: Floor Joist Splitting Observed
- ⚠ 7.3.2 Crawlspace - Homes Floor Structure: Jack Post Not Secured
- ⊖ 8.2.1 Plumbing - Water Supply & Distribution Systems: Corroded Water Supply Piping
- ⊖ 8.2.2 Plumbing - Water Supply & Distribution Systems: Saddle Valve Installed on Water Supply Line
- ⚠ 8.3.1 Plumbing - Drain, Waste, & Vent Systems: Drain Pipe – Actively Leaking
- ⊖ 8.4.1 Plumbing - Water Heater(s): Water Heater – Aged Unit
- ⊖ 10.4.1 Interiors - Window: Window Does Not Latch / Lock
- ⊖ 10.6.1 Interiors - Lighting Fixtures, Switches & Receptacles: Abandoned Wiring Observed
- ⊖ 10.6.2 Interiors - Lighting Fixtures, Switches & Receptacles: Inadequate Number of Receptacles
- ⚠ 10.6.3 Interiors - Lighting Fixtures, Switches & Receptacles: Junction Box - Open
- ⊖ 10.6.4 Interiors - Lighting Fixtures, Switches & Receptacles: Light - Inoperable
- ⚠ 10.6.5 Interiors - Lighting Fixtures, Switches & Receptacles: Outlet - Open Ground
- ⚠ 10.6.6 Interiors - Lighting Fixtures, Switches & Receptacles: Missing Wire Clamps at Termination
- ⊖ 11.2.1 Kitchen - Kitchen Sink: Sink – Improper Drain Configuration (S-Trap)
- ⊖ 12.1.1 Built-in Appliances - Dishwasher: Dishwasher – Improperly Secured / Not Mounted
- 🔧 13.2.1 Laundry - Clothes Dryer: Dryer Vent – Cleaning Recommended
- ⚠ 13.2.2 Laundry - Clothes Dryer: Dryer Vent – Disconnected
- ⚠ 13.2.3 Laundry - Clothes Dryer: Dryer Vent – Flexible Duct Crushed or Kinked
- ⚠ 14.1.1 Bathroom(s) - General : Bathroom Sink – Drain Leaking

1: YOUR REPORT

Information

Report: How To Read Your Report

[Click here for the video in the .pdf.](#) The video below is a quick video that can help you navigate your report:

Report: Copyright Notice

© Copyright Notice: This report is the property of Vivid Home Inspections. It is licensed exclusively to the Client(s) named in this report and their direct real estate representative. This document is non-transferable in whole or in part to any third party, including future buyers, sellers, or listing agents. Copying and pasting deficiencies for the purpose of preparing a repair request is permitted.

The information contained in this report is intended solely for the Client named herein and shall not be relied upon by others. This report is governed by the signed Inspection Agreement, which outlines the scope, limitations, and exclusions of the inspection, as well as the copyright conditions. Unauthorized recipients are encouraged to obtain their own independent inspection and report from a qualified home inspector.

Key Information / Limitations: Definition of Comments

This report organizes deficiencies into three categories:

▣ **Significant/Major Defects or Safety Issues (RED)**

Items that are non-functional, present serious safety concerns, or may involve significant repair costs. These require prompt evaluation and repair or replacement by a Qualified Contractor, ideally before the end of your contingency period.

▣ **Moderate Defects (ORANGE)**

Items with functional or installation-related issues. While often still operational at the time of inspection, they may perform below standard, lead to future problems, or require corrective work. Most defects fall into this category. Repairs or replacements should be addressed before the end of your contingency period by a Handyman or Qualified Contractor.

▣ **Minor Defects / Maintenance Items / FYI (BLUE)**

Items that would benefit from minor repairs, routine maintenance, or are provided as informational notes. This includes observations, recommended upgrades, limitations, and components nearing or beyond their typical service life but still functional. Major repairs or replacements should be anticipated for such aging components (e.g., HVAC systems, water heaters, plumbing).

Important Notes

- Safety concerns may be categorized as RED or ORANGE depending on risk, but should always be addressed promptly.
- Items marked as "Minor" or "Marginal" may still require repair or replacement.
- The **Recommendations** provided in each comment are more critical than the category itself.
- Clients may perceive the severity of defects differently; weigh all findings carefully in your purchasing decision.

Key Information / Limitations: Items Not Inspected and Other Limitations

This inspection is a limited, visual evaluation and does not include items such as fences, gates, pools, spas, outbuildings, detached structures, appliances, storm doors/windows, window AC units, central vacuums, water softeners, or alarm systems. Subterranean systems (sewer, septic, underground utilities, fuel tanks) are excluded, as are shut-off valves and any disconnected components.

The inspection does not determine causes of defects, repair methods or costs, code compliance, property value, insurability, or system efficiency. Inaccessible or obstructed areas are not inspected, and the inspector will not disturb finishes, insulation, belongings, vegetation, snow, or debris.

Lastly, this inspection does not address environmental hazards, including but not limited to: asbestos, lead, lead-based paint, radon, mold, wood-destroying insects or organisms (such as termites), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide.

Key Information / Limitations: Other Notes - Important Information

Some areas were inaccessible or only partially accessible at the time of inspection, and no representations can be made about conditions that were concealed. If access is later gained, additional issues may be discovered. This inspection is **qualitative, not quantitative**—similar deficiencies are noted in general terms, and it is the responsibility of contractors to determine the full scope of needed repairs.

Recommendations may include repairs or upgrades based on current safety and building standards, which may differ from requirements when the home was built. These suggestions are intended to improve safety, performance, and longevity but are not a complete list of all possible improvements. Components may function at the time of inspection yet fail unexpectedly due to age or lack of maintenance; ongoing upkeep and replacement should be anticipated.

Photographs are provided as a courtesy, not a requirement of New Jersey Standards of Practice, and may not capture every defect. Please acknowledge review of this report, as acknowledgment affirms understanding of its content. Questions or requests for clarification are welcome at any time.

Key Information / Limitations: Recommended Contractors Information

Contractors & Further Evaluation

Repairs should be performed by **licensed professionals** in the appropriate field. Retain all receipts for warranty purposes. Recommendations for further evaluation may reveal additional issues, as contractors can perform more invasive assessments. The items noted in this report are not an exhaustive list of all possible concerns.

Causes of Damage & Methods of Repair

Any noted causes of damage or suggested repair methods are provided as a courtesy, based solely on a visual inspection. These should not be solely relied upon. Contractors and licensed professionals will make the final determination regarding causes and appropriate repairs, and their findings take precedence over this report.

Your Job As a Homeowner: Read Your Book



Along with this report, I've provided you with a **Home Maintenance Book** that explains how your home works, how to care for it, and ways to save energy.

We're neighbors! If you ever have a house-related question or run into an issue, don't hesitate to reach out. I'm always happy to help.

Your Job As a Homeowner: Life Expectancy Chart

Please refer to the "Life Expectancy" chart attached to the report for detailed information regarding the average lifespan of the system or component. While the system or component was operational during the inspection, its current functionality does not guarantee it will endure for its entire expected lifespan. The chart outlines predicted life expectancies based on research and testing under conditions of regular recommended maintenance and normal wear and tear, excluding extreme weather, neglect, overuse, or abuse. Therefore, these estimates should serve as guidelines rather than definitive guarantees or warranties.

2: INSPECTION DETAILS

Information

Ancillary Service Requested

Mold Testing

Construction Year (Pulled From Online Sources)

1958

Occupancy

Unfurnished, Vacant

Temperature (approximate)

51 Fahrenheit (F)

Type of Building

Single Family, Single Story

Weather Conditions

Overcast, Light Wind, Light Rain, Recent Rain, Wet Ground

In Attendance

Client

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

Limitations

General

EXTENDED VACANCY

The property has been vacant for a while. Some systems have not been in use for a while. Monitor these mechanical and plumbing systems closely. An initial service of mechanical systems and a scoping of the drainage system is recommended.

General

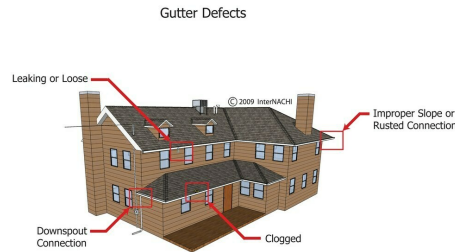
RECENT REMODEL

The structure appeared to be recently remodeled or partially "flipped". The work was not verified for local code compliance. It is recommended building permits be reviewed to ensure proper compliance has been followed. Hidden or covered up defects may be present.

3: ROOF

Information

Inspection Method Drone	Roof Type/Style Gable	Covering: Ventilation System Soffit, Gable, Attic Fan
Roof Drainage Systems: Drainage Material(s) Aluminum	Roof Drainage Systems: Drainage Type(s) Mounted Gutters	



Homeowner's Responsibility

All roofs, chimneys, and gutter systems require routine maintenance to prevent future issues. The following are recommended homeowner responsibilities:

- **Roof:** Monitor for missing or damaged shingles, loose flashing, and debris buildup using binoculars from the ground. Roofs are water-resistant, not waterproof—schedule a professional roof inspection annually to identify and address minor issues before they lead to costly leaks.
- **Chimney:** Visually inspect from the ground for cracked masonry, deteriorated mortar, damaged crown or cap, and signs of leaning or staining. Chimneys are vulnerable to water intrusion and should be professionally inspected once per year.
- **Gutters:** During or after rainfall, check for leaks, overflowing joints, sagging sections, or poor discharge away from the foundation. Clean and maintain gutters regularly to prevent water damage, soil erosion, and foundation issues.

These systems are not maintenance-free. Regular visual checks and timely service help extend their life and performance.

Approximate Lifecycle Stage

Beginning

The selected box indicates the inspector’s opinion of the roof covering’s approximate visible lifecycle stage based on current condition. The exact age of the roofing material is not determined. If marked as “**nearing end**” or “**end**” of its lifecycle, clients should plan for increased maintenance or replacement in the near future to help prevent potential issues.

Covering: Roof Covering Was Inspected

The roof covering materials were visually inspected for general condition, installation, and signs of damage, wear, or deterioration. Observable components were evaluated for indications of leaks or conditions that may affect performance. The roof covering is considered functional unless otherwise noted.

Covering: Roof Covering Material(s)

Asphalt

Roof Covering Disclaimer

The roof covering was evaluated based on visible conditions at the time of inspection. This is **not a warranty**; all roofs are subject to leaks from weather, wear, or unforeseen issues, and future performance cannot be guaranteed.

Penetrations & Flashing: Flue Gas Vent & Plumbing Vent Pipes Inspected

Flue gas and plumbing vent (DWV) pipes were inspected where they pass through the roof. Gas-fired appliances must be properly connected to code-compliant venting, and each roof penetration should have watertight metal flashing to prevent leaks. Vent pipes should also extend at least 6 inches above the roof surface to ensure proper ventilation and reduce blockages.

Penetrations & Flashing: Flashing Material

Aluminum

Flashing consists of thin, impervious material designed to prevent water intrusion at joints and openings such as chimneys, vent pipes, walls, windows, and doors. It helps improve durability and reduce the risk of indoor mold by limiting water penetration. Roof flashings are especially critical and most visible. Photos in this report show sample areas only; not all flashings are pictured. Any deficiencies are noted in the observations.

Penetrations & Flashing: Roof Penetrations

Ventilation, Plumbing, Attic Fan

A roof penetration is any component that extends through the roof, such as vents or pipes. All penetrations require proper flashing or sealing to prevent leaks. The inspector visually checked these areas for proper flashing, support, and sealing where visible. Penetrations are considered satisfactory unless otherwise noted in this report.

Roof Drainage Systems: Roof Drainage System Was Inspected

The roof drainage system was visually inspected for proper installation, general condition, and observable performance. Components such as gutters and downspouts were evaluated for signs of damage, blockage, leakage, or improper discharge that may affect drainage away from the structure. The system is considered functional unless otherwise noted.

Limitations

Covering

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Penetrations & Flashing

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Deficiencies

3.1.1 Covering

EXCESSIVE GRANULE LOSS

— Marginal Defect



The roof covering exhibited excessive loss of surface granules. Granules serve as a protective layer that shields the underlying material from ultraviolet exposure and normal weathering. When granule loss becomes pronounced, the roofing material may deteriorate more rapidly and become more vulnerable to damage. This condition can shorten the expected service life of the roof covering over time.

Recommendation

Contact a qualified roofing professional.

3.1.2 Covering



Minor Defect, Maintenance Item, or FYI Items

MOSS / LICHEN GROWTH ON ROOF COVERING

Moss and lichen growth were observed on the roof covering. Organic growth can retain moisture against the surface of the roofing material and may contribute to gradual deterioration over time. In some cases, root-like structures can lift or separate roofing materials as growth expands. Regular maintenance and cleaning can help manage the condition and support the longevity of the roof covering.

Recommendation

Contact a qualified roofing professional.



3.1.3 Covering



Marginal Defect

SHINGLES - DAMAGED

Damaged shingles were observed at the roof covering. Shingle damage can occur from weather exposure, physical impact, or normal aging. Compromised shingles may not provide full protection against moisture penetration. If not addressed, damaged areas can contribute to localized deterioration of the roofing system over time.

Recommendation

Contact a qualified roofing professional.



3.1.4 Covering



Minor Defect, Maintenance Item, or FYI Items

TREE DEBRIS ON ROOF

Tree debris was observed on the roof surface. Accumulated leaves, branches, and organic material can retain moisture against the roofing material and may contribute to premature deterioration over time. Debris can also obstruct proper drainage and interfere with water runoff. Routine removal of roof debris helps maintain proper performance and prolong the service life of the roofing system.



Recommendation

Contact a qualified professional.

3.2.1 Penetrations & Flashing

VENT BOOT - VISIBLE DIP AT UPPER (REAR) PORTION**Significant Defect or Safety Hazards**

The vent boot exhibited a visible dip along the upper (rear) portion of the flashing assembly. The upper section of the boot is intended to lie flat and remain properly integrated with the surrounding roofing material to direct water away from the penetration. A depression in this area can allow water to collect or flow toward the penetration rather than away from it. This condition may increase the potential for moisture intrusion if not corrected.

Recommendation

Contact a qualified roofing professional.



3.3.1 Roof Drainage Systems

DOWNSPOUT EXTENSION - IMPROPERLY SLOPED**Marginal Defect**

The downspout extension did not appear to be properly sloped away from the structure. Extensions are intended to direct roof runoff away from the foundation in a controlled manner. When slope is inadequate or reversed, water may pool or flow back toward the foundation area. This condition can contribute to localized moisture exposure if not corrected.

Recommendation

Contact a qualified gutter contractor



Front - Not sloping away from the foundation causing water to pool near the foundation

3.3.2 Roof Drainage Systems

GUTTER GUARDS - IMPROPERLY INSTALLED OR DAMAGED**Marginal Defect**

The gutter guards were observed to be improperly installed or damaged. Gutter protection systems are intended to allow water to enter the gutter while limiting debris accumulation. When improperly fitted or deteriorated, they may restrict water flow or allow debris to bypass the system. This condition can reduce overall drainage performance and may contribute to overflow if not corrected.

Recommendation

Contact a qualified gutter contractor



Pushing the shingles up preventing water from discharging off the roof.



4: EXTERIOR

Information

Driveway & Walkway(s): Driveway Material(s) Concrete	Driveway & Walkway(s): Walkway Material(s) Concrete	Exterior Doors: Exterior Entry Door Type(s) Wood
Windows: Window Type(s) Double Pane, Vinyl	Foundation: Foundation Material(s) Masonry Block	Eaves, Soffits & Fascia: Material(s) Metal, Vinyl

Homeowner's Responsibility

Your home's exterior naturally wears over time, so regular inspections are essential. During or after heavy rain (if safe), check how well your home manages water:

- Roof & gutters – Directing water properly?
- Downspouts – Discharging away from the home?
- Grading – Sloping away from the foundation?
- Drainage – Any water pooling near the structure?

Moisture intrusion is one of the most common—and costly—issues in homes. Watch for signs like:

- Water stains or damp spots
- Peeling paint or white residue (efflorescence)
- Rusted metal
- Warped wood or mildew in finished areas

Moisture can enter through cracks, leaks, or poor drainage. Early detection protects your home and indoor air quality.

Also inspect exterior doors regularly. Repair worn weatherstripping, misalignment, or rusted hardware to prevent drafts, improve energy efficiency, and boost curb appeal.

Vegetation, Surface, Grading, Drainage & Retaining Walls: Vegetation, Drainage, Walls & Grading Were Inspected

Vegetation, site drainage, retaining walls, and grading adjacent to the structure were visually inspected for conditions that may impact the building. Observations included surface drainage patterns, soil slope, and vegetation proximity to the structure. These elements are considered functional unless otherwise noted.

Driveway & Walkway(s): Driveway & Walkway(s) Were Inspected

Driveways and walkways adjacent to the home were visually inspected for structural issues, material deterioration, safety hazards, and drainage concerns that may impact the foundation. Surfaces farther from the home are outside the scope of this inspection. Observations are based on visible conditions, and surfaces are considered functional unless otherwise noted.

Siding, Flashing & Trim: Siding Material Was Inspected

The exterior siding materials were visually inspected for general condition, installation, and signs of damage, deterioration, or moisture intrusion. Observable components were evaluated for issues such as cracking, warping, gaps, or improper attachment that may affect performance. The siding is considered functional unless otherwise noted.



Front



Right



Rear



Left

Siding, Flashing & Trim: Siding Material(s)

Vinyl, Stone Veneer

Siding protects the home's structure from weather, moisture, and temperature changes while contributing to durability, energy efficiency, and appearance. Each material has different maintenance needs and performance characteristics.

**** If EIFS (Exterior Insulation and Finish System) is present, it should be further evaluated by a qualified EIFS inspector. Specialized tools and training are often required to assess installation, hidden damage, and potential moisture intrusion not visible during a standard home inspection.**

Exterior Doors: Homeowner's Responsibility

It is recommended that the locks be changed upon settlement of the property.

Patio, Porch, & Balcony: Patio Was Inspected

Patios are outdoor extensions of the home, typically located at ground level and constructed from materials such as concrete, pavers, stone, or brick. They are designed for recreation and outdoor living but are generally not considered part of the home's structural system.

Our inspection is a **visual evaluation** of the patio's condition, focusing on the surface materials, foundations or bases, steps, and guardrails (if present). Any enclosures, such as walls, screens, or coverings, are also inspected for visible signs of defects.

Patio, Porch, & Balcony: Porch Was Inspected

Porches are exterior extensions of the home, typically forming a covered entrance at the front or rear. They are usually built at the same floor level as the interior and may be constructed from materials such as wood, masonry, or concrete. Porches are generally considered part of the home's structure.

Our inspection is a **visual evaluation** of structural components including columns, beams, foundations or bases, stringers, joists, flooring, and guardrails (if required). Any enclosures, such as walls, screens, or windows, are also inspected for visible signs of defects or deterioration.

Exhaust Vents / Hoods: Vent Type(s)

Laundry, Bath

Keep vents clean and free of debris to maintain proper airflow and function. Ensure connections are securely sealed at the structure to prevent leaks or moisture intrusion. Where appropriate, vent openings should include screens to reduce pest entry while allowing proper ventilation.

GFCI Outlet(s): GFCI-Protection Tested

Exterior receptacles were inspected and tested for proper **GFCI protection** using the test button or a GFCI tester. All outdoor receptacles are required to be GFCI protected to reduce the risk of electrical shock in wet or damp conditions.

Lighting Fixtures, Fans, & Switches: Lights, Fans, & Switches Were Inspected

The exterior lights, fans, & switches were visually inspected and tested for basic operation and condition. Fixtures were checked with wall switches, and switches were inspected for secure mounting and visible defects.

Stairs, Steps, Stoops, Handrail, Guards & Ramps: Railings, Guards, Handrails, Stairs & Steps Were Inspected

Accessible railings, guards, handrails, and stairs were visually inspected for condition, stability, and safety. Observations are based on visible and accessible areas at the time of inspection.

General safety guidelines:

- Guards: required on surfaces 30" or higher; minimum height 36"; baluster spacing ≤ 4 ".
- Handrails: required on stairs with 4+ risers; height 34–38"; graspable, continuous, and secure.
- Stairs: risers $\leq 7\frac{3}{4}$ "; treads ≥ 10 "; uniform size to reduce trip hazards.

Any deviations may present safety concerns and should be evaluated further.

Water spigots: Water Spigots Were Inspected

I **inspected all accessible exterior spigots (hose bibs)** during the inspection. The evaluation included checking for **visible damage, secure mounting, and proper operation**, including water flow and shutoff.

Observations are based on **readily accessible components** at the time of the inspection.

Limitations

General

FENCING

Fences are not part of a home inspection. Any comments related to these components or structures should be considered purely informative.



Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Deficiencies

4.1.1 Vegetation, Surface, Grading, Drainage & Retaining Walls

 Marginal Defect
EVIDENCE OF TREE PREVIOUSLY LOCATED TOO CLOSE TO HOME

Evidence was observed indicating that a tree was previously located in close proximity to the structure. Tree roots near foundations can affect soil stability and may contribute to localized settlement or movement over time. Although the tree has been removed, remaining root systems may continue to decompose and influence soil conditions. Monitoring of the surrounding soil and foundation area is recommended to identify any future changes.

Recommendation

Contact a qualified landscaping contractor



Right Front



Right Middle



Right Rear

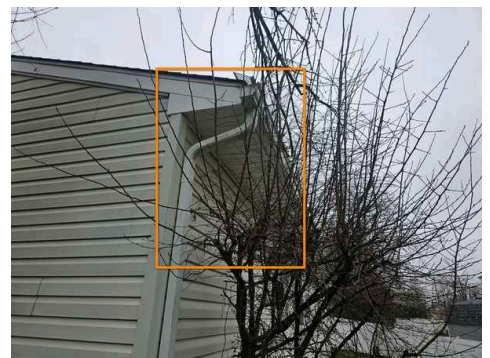
4.1.2 Vegetation, Surface, Grading, Drainage & Retaining Walls

 Marginal Defect
TREE BRANCHES IN CONTACT WITH EXTERIOR WALLS

Tree branches were observed in contact with the exterior wall surfaces. Vegetation contact can abrade siding materials during wind conditions and may retain moisture against the wall assembly. Branches in contact with the structure can also provide pathways for pest activity. Maintaining clearance can help preserve exterior finishes and support proper monitoring of wall components.

Recommendation

Contact a qualified tree service company.



Rear - Recommend trimming the branches back

4.1.3 Vegetation, Surface, Grading, Drainage & Retaining Walls

 Marginal Defect
TREE LOCATED TOO CLOSE TO STRUCTURE

A tree was observed located in close proximity to the structure. Trees situated near foundations and exterior walls can influence soil moisture conditions and may contribute to root-related soil movement over time. Overhanging limbs may also deposit debris on roof surfaces and increase maintenance requirements. Maintaining appropriate distance between trees and the structure can help reduce potential impact on exterior components and drainage patterns.

Recommendation

Contact a qualified tree service company.



Right Rear



Rear

4.1.4 Vegetation, Surface, Grading, Drainage & Retaining Walls

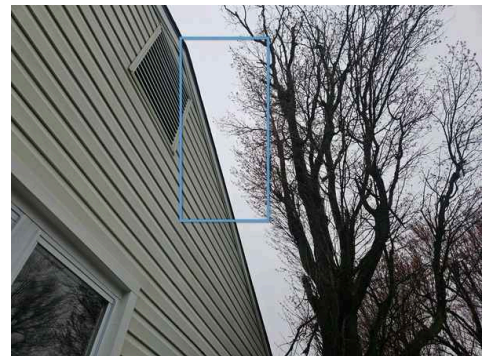
 Minor Defect, Maintenance Item, or FYI Items

TREE OVERHANGING HOME

Tree limbs were observed overhanging the roof and exterior portions of the structure. Overhanging branches can deposit leaves and organic debris onto roof surfaces and within gutters, increasing maintenance requirements. Limbs positioned above the structure may also contact roofing materials during wind conditions. Maintaining proper clearance can help reduce wear on roofing components and support effective drainage.

Recommendation

Contact a qualified tree service company.



Recommend keeping the branches trimmed back.

4.2.1 Driveway & Walkway(s)

 Significant Defect or Safety Hazards

WALKWAY TRIP HAZARD

The walkway had uneven sections that created a trip hazard along the walking surface. Changes in elevation were observed between adjacent sections, resulting in an irregular path of travel. Such conditions increase the potential for loss of footing during normal use. Uneven areas may worsen over time due to settlement, surface wear, or seasonal movement.

Recommendation

Contact a qualified concrete contractor.



4.3.1 Siding, Flashing & Trim

 Minor Defect, Maintenance Item, or FYI Items

CAULKING MAINTENANCE NEEDED AT SIDING AND TRIM

Sealant at various siding and trim joints was observed to be cracked, separated, or deteriorated. Gaps were visible at certain transitions around penetrations and trim interfaces. Deteriorated caulking can allow moisture and air intrusion at exterior wall assemblies. Routine maintenance of sealant joints helps preserve the performance of siding and trim materials over time.

Recommendation

Contact a handyman or DIY project



Front



Front - Along the front edge where the vinyl siding meets the stone veneer.

4.3.2 Siding, Flashing & Trim

 Marginal Defect

DAMAGED EXTERIOR WALL-COVERING MATERIAL

The exterior wall-covering material exhibited visible damage in one or more areas. Sections appeared cracked, punctured, or otherwise compromised. Damaged cladding can allow moisture to enter the wall assembly if not properly maintained. Continued exposure to weather conditions may contribute to further deterioration over time.

Recommendation

Contact a qualified siding specialist.



Right Rear

4.3.3 Siding, Flashing & Trim

Minor Defect, Maintenance Item, or FYI Items

EVIDENCE OF PREVIOUS EXTERIOR REPAIRS

Evidence of prior repairs was observed at the exterior siding and/or trim areas. Patch materials, sealants, or replacement sections were visible in localized areas. The quality and extent of the repairs could not be fully determined at the time of inspection. Monitoring of these areas is recommended to ensure continued performance and stability over time.

Recommendation

Contact a qualified siding specialist.



Right

4.3.4 Siding, Flashing & Trim

Marginal Defect

GAP OBSERVED BEHIND BRICK VENEER

A visible gap was observed behind sections of the brick veneer at the exterior wall. The separation was noted between the veneer and the underlying structure in localized areas. Gaps of this nature may allow moisture or debris to enter the wall cavity if not properly managed. Monitoring and corrective action, if necessary, can help maintain the integrity of the exterior wall assembly over time.

Recommendation

Contact a qualified masonry professional.



Right Front

4.3.5 Siding, Flashing & Trim

Marginal Defect

GAPS IN SIDING MATERIAL

Gaps were observed between sections of the exterior siding material. Open seams and separation were visible at certain joints and transitions. Gaps in siding can allow moisture, air, or pests to enter the wall assembly if not properly sealed or overlapped. Continued exposure at these openings may contribute to deterioration of underlying materials over time.

Recommendation

Contact a qualified siding specialist.



Right



Left



Rear

4.3.6 Siding, Flashing & Trim

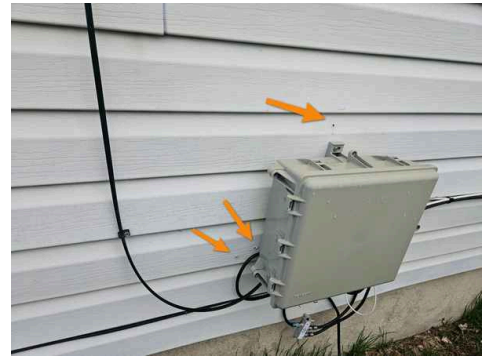
Marginal Defect

HOLES IN EXTERIOR SIDING

Holes were observed in the exterior siding in one or more locations. The openings penetrated through the cladding and exposed underlying wall components. Such openings can allow moisture, air, and pests to enter the wall assembly if not properly sealed. Continued exposure may contribute to deterioration of the underlying materials over time.

Recommendation

Contact a qualified siding specialist.



Right

4.3.7 Siding, Flashing & Trim

 Marginal Defect

J-CHANNEL - MISSING

J-channel trim was not observed at one or more siding termination points where it is typically installed. The siding edges appeared unfinished or not properly secured at openings or transitions. Missing J-channel can allow moisture to enter behind the siding and may affect the overall fit and appearance of the cladding. Proper termination components help manage water and support the siding system.

Recommendation

Contact a qualified siding specialist.



Right



Rear

4.3.8 Siding, Flashing & Trim

 Marginal Defect

UNSEALED EXTERIOR PENETRATION(S)

One or more penetrations through the exterior siding were observed to be unsealed. Visible gaps were present around utility lines, conduits, or mounted fixtures where they passed through the wall covering. Unsealed openings can allow moisture, air, or pests to enter the wall assembly. Proper sealing helps maintain the weather resistance and durability of the exterior wall system over time.

Recommendation

Contact a handyman or DIY project



Rear

4.3.9 Siding, Flashing & Trim

 Marginal Defect

VEGETATION GROWING OUT OF SIDING

Vegetation was observed growing through or out of the exterior siding in one or more areas. Plant growth was visible at joints and/or small openings in the cladding. Vegetation in these locations may indicate retained moisture or accumulated debris behind the siding. Continued growth can contribute to material deterioration and may affect the performance of the wall assembly over time.

Recommendation

Contact a qualified professional.



Rear

4.6.1 Patio, Porch, & Balcony

 Marginal Defect

SETTLEMENT CRACKS AT PORCH OR PATIO

Cracks consistent with settlement were observed at the porch or patio surface. The cracking pattern indicated differential movement between sections of the slab. Settlement can occur due to soil compaction issues, changes in moisture conditions, or natural ground movement. Continued movement may result in widening cracks or uneven transitions over time.

Recommendation

Contact a qualified concrete contractor.



4.7.1 Foundation

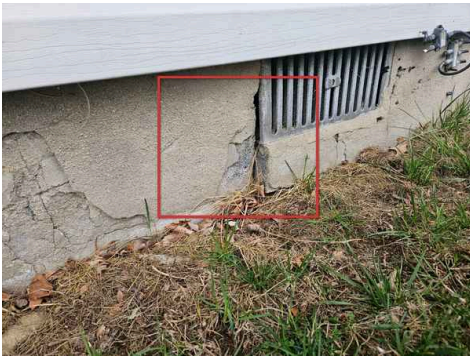
 Significant Defect or Safety Hazards

CONCRETE BLOCK FOUNDATION HEAVING

Portions of the concrete block foundation wall were observed to exhibit signs of heaving. Sections of the wall appeared displaced or elevated relative to adjacent areas. Heaving can occur due to soil movement, moisture conditions, or frost-related expansion beneath the foundation. Movement of this nature may affect the structural stability and alignment of the foundation wall over time.

Recommendation

Contact a foundation contractor.



Right



4.7.2 Foundation

FOUNDATION PARGING – CRACKED AND CHIPPING

 Minor Defect, Maintenance Item, or FYI Items

The parging material on the foundation wall was observed to be cracked and chipping in several areas. Sections of the surface coating showed flaking and localized material loss. Parging serves as a protective and cosmetic finish over masonry surfaces. Deterioration of this layer may expose the underlying masonry to increased weathering over time.

Recommendation

Contact a qualified masonry professional.



Right Rear



Left Rear

4.7.3 Foundation

FOUNDATION PARGING – SPALLING

 Minor Defect, Maintenance Item, or FYI Items

The parging layer on the foundation wall exhibited areas of spalling, with sections of the surface separating and flaking away. Localized material loss was observed during the inspection. Spalling of the parging can occur due to moisture exposure and seasonal temperature changes. While primarily a surface condition, continued deterioration may expose the underlying masonry to increased weathering over time.

Recommendation

Contact a qualified masonry professional.



Right



Right



Rear



Rear



Rear



Rear



Rear



Left

4.7.4 Foundation

 Significant Defect or Safety Hazards

SIGNIFICANT FOUNDATION MOVEMENT OBSERVED

Significant movement was observed at the foundation during the inspection. Noticeable displacement, cracking, and/or misalignment were present in affected areas. The extent of movement exceeded what is typically associated with minor settlement or shrinkage. Continued movement of this nature may impact structural stability and the alignment of building components over time.

Recommendation

Contact a qualified structural engineer.



Left Rear

4.9.1 Eaves, Soffits & Fascia

 Marginal Defect

DAMAGED FASCIA

The fascia board was observed to be damaged at the time of inspection. Visible deterioration was noted along the edge of the roof overhang. Damage to the fascia can affect support for the gutter system and may allow moisture to impact adjacent materials. Repair or replacement is recommended to maintain proper function and protection at the roof edge.



Exposed wood behind the metal flashing

Recommendation

Contact a qualified roofing professional.

4.10.1 GFCI Outlet(s)

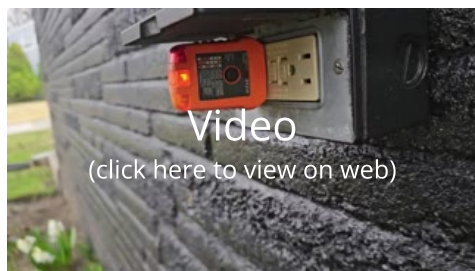
 Significant Defect or Safety Hazards

EXTERIOR GFCI DID NOT TEST FUNCTIONAL

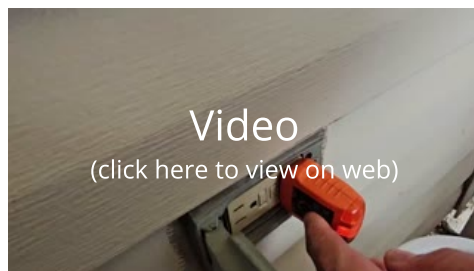
The exterior GFCI receptacle did not respond properly when tested at the time of inspection. Activation of the test function did not interrupt power as expected. A GFCI that does not operate as intended may not provide proper ground-fault protection in exterior locations. Further evaluation and correction are recommended to restore proper protective function.

Recommendation

Contact a qualified electrical contractor.



Front



Left

4.10.2 GFCI Outlet(s)

 Significant Defect or Safety Hazards

OPEN GROUND CONDITION AT EXTERIOR OUTLET

The exterior receptacle tested with an open ground condition at the time of inspection. This result indicates that the equipment grounding conductor was not properly connected or present. An open ground can affect the safe operation of connected devices and may limit the effectiveness of protective features. Evaluation and correction are recommended to restore proper grounding continuity.

Recommendation

Contact a qualified electrical contractor.



Front



Left

4.13.1 Water spigots



Marginal Defect

DAMAGED / BROKEN COMPONENTS AT EXTERIOR WATER SPIGOT

Components of the exterior water spigot were observed to be broken at the time of inspection. Visible damage was noted at the handle and/or body of the fixture. Damaged components may affect normal operation and can contribute to leakage or reduced durability over time. Repair or replacement is recommended to restore proper function and reliability.

Recommendation

Contact a qualified plumbing contractor.



Front - missing handle

5: HEATING & COOLING

Information

Heating Equipment: Heat Type Forced Air	Heating Equipment: Brand Carrier	Heating Equipment: Approximate Age 6-10
Heating Equipment: Energy Source Natural Gas	Cooling Equipment: Type Central Air Conditioner	Cooling Equipment: Brand Carrier
Cooling Equipment: Approximate Age 6-10		

Inspection Method

The heating and cooling system was tested using normal operating controls where conditions allowed. Distribution components such as registers, baseboards, and radiators were checked for operation.

Limitations:

- Heating tested off-season may not reflect full performance under load.
- Cooling not tested when outdoor temperatures are below 60°F to avoid equipment damage.
- System sizing and BTU ratings are beyond the scope of a home inspection and should be evaluated by a licensed HVAC technician.

Routine servicing by a qualified HVAC professional is recommended for safe and efficient operation.

Homeowner's Responsibility

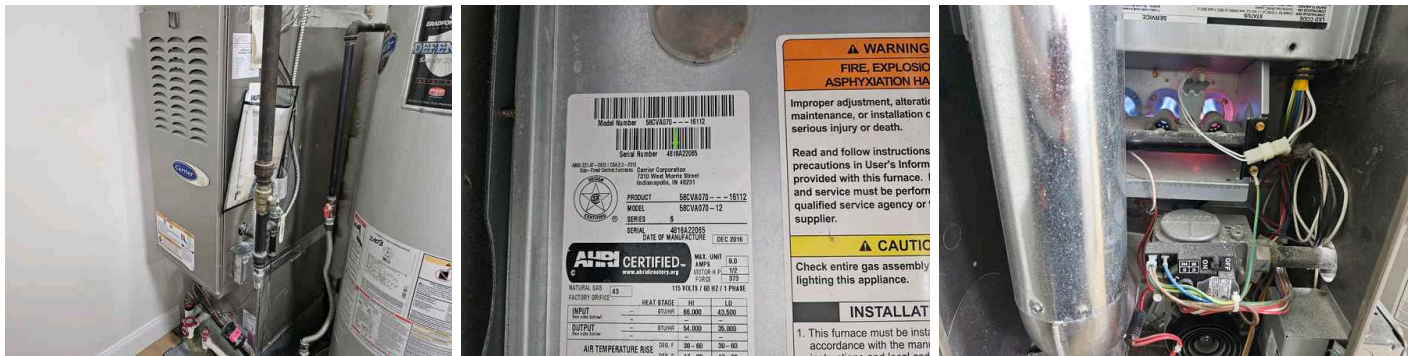
Heating and cooling systems require regular maintenance to ensure efficient performance, reduce energy costs, and extend equipment life. Homeowners are advised to follow these routine maintenance practices:

- **Air Filters:** Replace or clean filters every 1–3 months, depending on usage and filter type. Clogged filters reduce airflow, strain the system, and affect indoor air quality.
- **Registers & Vents:** Keep supply and return vents clear of furniture, dust, and debris to allow proper airflow throughout the home.
- **Outdoor Units (A/C or Heat Pump):** Ensure exterior units remain free of leaves, vegetation, and debris. Maintain at least 12–24 inches of clearance around the unit for adequate ventilation and service access.
- **Condensate Drain Line:** Check the condensate drain for clogs or leaks, especially during cooling season. A blocked line can lead to water damage or system shutdown.
- **Annual Service:** Schedule professional HVAC servicing once per year (or twice—spring and fall—for combined heating/cooling systems). A technician can inspect components, clean coils, check refrigerant levels, and identify worn or failing parts.

Routine homeowner attention helps prevent breakdowns, improve comfort, and ensure safe operation. Neglecting HVAC maintenance may lead to costly repairs and reduced system lifespan.

Heating Equipment: Heating Equipment Was Inspected

The heating equipment was visually inspected for proper installation, general condition, and observable performance at the time of the inspection. Components were evaluated for signs of damage, wear, and safety concerns. This inspection was limited to readily accessible and visible elements, and no determination is made regarding concealed defects or long-term reliability. The system is considered functional unless otherwise noted.



2016

Cooling Equipment: Cooling Equipment Was Inspected

The cooling equipment was visually inspected for proper installation, general condition, and observable performance at the time of the inspection. Components were evaluated for signs of damage, wear, and safety concerns. This inspection was limited to readily accessible and visible elements, and no determination is made regarding concealed defects or long-term reliability. The system is considered functional unless otherwise noted.



2017

Cooling Equipment: Service Disconnect Inspected

A service disconnect was observed near the outdoor condenser. This device allows quick power shutoff for maintenance or emergencies, ensuring safe servicing. Homeowners should know its location for prompt response if needed.

HVAC Filter: Filter(s) Were Inspected.

How Often to Change Your HVAC Filter

Filter life depends on type, size, and your home environment:

- Fiberglass: every 30 days
- Pleated: every 45-90 days
- 1-inch filters: every 1-3 months
- 3-4 inch: every 6-9 months
- 5-6 inch: every 9-12 months

Change more often if you have pets, allergies, renovations, or heavy dust. In cleaner environments, intervals may be longer.

Tip: Check monthly to prevent buildup and keep your system efficient.



Condensate: Condensate Pump

A condensate pump was observed at the cooling system. Its purpose is to collect and discharge water produced during operation to a proper drain. The pump appeared connected, but performance was not tested beyond visual inspection. Regular maintenance and testing are recommended to ensure proper function and prevent overflow or moisture damage.

Condensate: Condensate Discharge Confirmed

A discharge pipe connected to the condensate pump was observed at the cooling system. The pump collects and removes condensation, typically discharging to a drain or approved location. The routing was noted based on visible components, but proper function and termination should be monitored to prevent leaks or overflow.

Distribution Systems: Ductwork

Non-insulated

Ductwork was observed distributing conditioned air throughout the home. I attempted to verify that each room had a supply register, though some may have been obscured by furnishings or construction details. Proper airflow to all rooms is important for comfort and efficiency, and homeowners should monitor for areas with inadequate distribution.

Thermostat and Normal Operating Controls: Thermostat Location

Living room

The thermostat and normal operating controls were tested to confirm functionality and system response for heating or cooling. Testing was limited to basic operation and did not include programmable features, Wi-Fi, or smart home integration.

Limitations

General

BTU'S AND TONNAGE

The HVAC unit(s) were not checked or verified for proper sizing of the structure. BTU's and/or Tonnage values were not evaluated or compared to the square feet or area of the structure. Consult a HVAC professional for more information regarding these values.

Distribution Systems

UNABLE TO INSPECT ALL THE DUCTWORK

Some HVAC distribution components and ductwork were inaccessible or concealed behind finished areas, furnishings, or in restricted spaces such as attics, basements, or crawlspaces. Due to these limitations, a full evaluation was not possible, and no representation can be made for concealed sections.

Deficiencies

5.1.1 Heating Equipment

 Marginal Defect**HEATING SYSTEM - UNUSUAL NOISES OBSERVED DURING OPERATION**

Unusual noises were heard from the heating system during operation. These noises may indicate wear, loose components, or internal mechanical issues. Continued operation under these conditions may lead to additional wear of system components over time. Further evaluation is recommended to determine the source of the noise.

Recommendation

Contact a qualified HVAC professional.



5.2.1 Cooling Equipment

 Marginal Defect**REFRIGERANT LINE INSULATION - MISSING OR DAMAGED**

Insulation on the refrigerant suction line was missing or deteriorated. This insulation helps reduce energy loss and prevents condensation from forming on the refrigerant line. When insulation is missing or damaged, system efficiency may be reduced and moisture may develop on the line. Replacing the insulation can help maintain proper system operation.

Recommendation

Contact a qualified HVAC professional.



5.3.1 HVAC Filter

 Marginal Defect**HVAC AIR FILTER - MISSING**

An air filter was not observed in the HVAC system at the time of the inspection. Air filters are intended to capture dust and debris before the air enters the heating and cooling equipment. Without a filter, dust and debris may accumulate within system components over time. Installing an appropriate air filter can help protect the HVAC equipment and improve system performance.

Recommendation

Recommended DIY Project



5.5.1 Distribution Systems

 Marginal Defect

DUCTWORK - DISCONNECTED

A section of the HVAC ductwork was observed to be disconnected at the time of the inspection. Ducts are intended to distribute conditioned air from the heating or cooling equipment to various areas of the home. When a duct becomes disconnected, conditioned air may be lost before reaching the intended space. Reconnecting the duct can help restore proper airflow distribution throughout the system.

Recommendation

Contact a qualified HVAC professional.



5.5.2 Distribution Systems

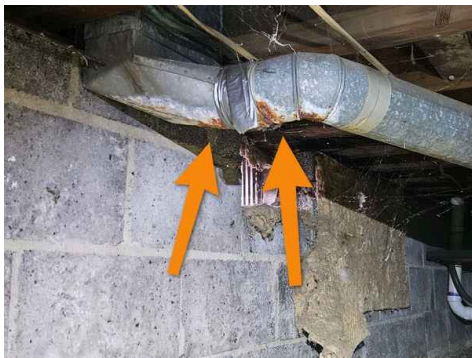
 Marginal Defect

HVAC DUCTWORK - DETERIORATED OR CORRODED

Sections of the HVAC ductwork were observed to be deteriorated or corroded. Duct systems are intended to distribute conditioned air efficiently throughout the home. Deterioration or corrosion may allow air leakage or reduce the effectiveness of the duct system over time. Continued deterioration may affect airflow and system performance.

Recommendation

Contact a qualified HVAC professional.



5.5.3 Distribution Systems

 Marginal Defect

HVAC DUCTWORK - NOT PROPERLY SEALED

Sections of the HVAC ductwork were observed to have joints or connections that were not properly sealed. Duct connections are intended to remain sealed to help direct conditioned air to the intended areas of the home. When joints are not sealed, conditioned air may leak from the system before reaching supply registers. Sealing the duct connections can help improve airflow efficiency and overall system performance.

Recommendation

Contact a qualified HVAC professional.



6: ATTIC, INSULATION & VENTILATION

Information

Ventilation: Ventilation Type

Gable Vents, Soffit Vents, Attic fan

General: Inspection Method

The attic, including the roof and attic structure, insulation, and ventilation, was visually inspected for general condition and signs of damage, moisture intrusion, or improper installation that may affect performance. The attic and roof structure were inspected from accessible areas only; insulation was not moved, and areas without secure flooring were not entered. Observations are limited to visible components at the time of inspection, and concealed or inaccessible conditions could not be assessed. The attic is considered functional unless otherwise noted.

General: Homeowner's Responsibility

Proper attic maintenance is essential for energy efficiency, moisture control, and roof longevity. Homeowners should regularly monitor the following:

- **Attic Access & Inspection:** Periodically inspect the attic for signs of leaks, mold, rodent activity, or damaged insulation. Look for water stains, rusted fasteners, or musty odors that may indicate ventilation or moisture issues.
- **Insulation:** Check that insulation remains evenly distributed and has not been compressed, displaced, or contaminated by pests. Inadequate or disturbed insulation can lead to heat loss and reduced energy efficiency.
- **Ventilation:** Ensure that soffit, ridge, and gable vents are clear of insulation, debris, or nests. Blocked vents reduce airflow, leading to excess heat in summer and condensation in winter. Both conditions can shorten the life of roofing materials and promote mold growth.
- **Mechanical Venting:** If the attic has powered fans or vented appliances, confirm they are operating correctly and exhausting to the exterior—not into the attic space.

Routine attic checks help prevent costly repairs, improve indoor comfort, and maintain proper airflow throughout the home. Professional evaluation is recommended if any concerns are observed.

General: Access Type(s)

Folding Stairs

Attic Access Advisory

If no attic access is present, adding one is recommended to allow evaluation of the roof structure, insulation, and ventilation. Where access is limited, additional or larger openings improve visibility and inspection. Access panels should be built for easy removal without damaging finishes, as routine access is important for maintenance and monitoring.

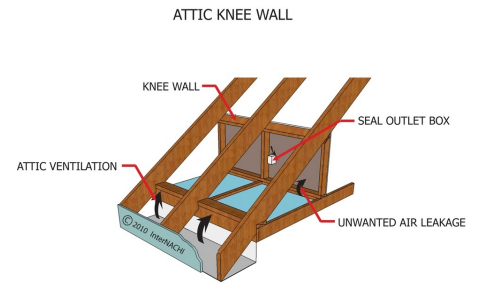
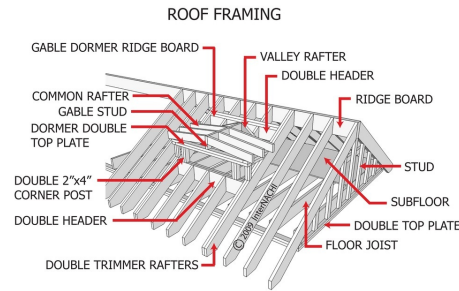
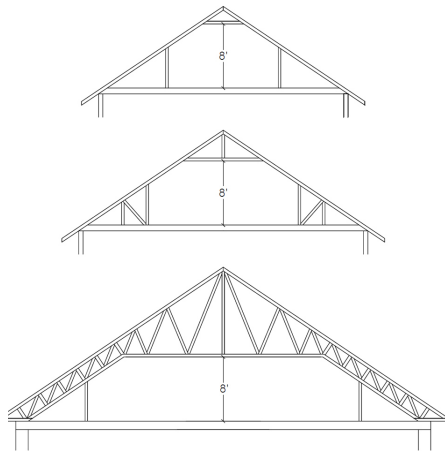
General: Ice Damming Prevention

Attic Insulation & Ventilation Advisory

Proper attic insulation and ventilation help prevent heat loss, regulate moisture, and reduce the risk of ice dams, which can cause water intrusion and roof damage. A balanced attic environment extends roof life, improves energy efficiency, and protects interior finishes.

Roof & Attic Structure: Structure Type(s)

Rafter



Attic Insulation: Insulation Type

Blown

Vermiculite Insulation Advisory

If vermiculite insulation is present or suspected, be aware it may contain asbestos, particularly material sourced from the Libby, Montana mine before 1990.

Do not disturb vermiculite, as this can release hazardous fibers. For evaluation or remediation, contact a licensed asbestos professional in compliance with local regulations.

Attic Insulation: Approximate Average Depth of Insulation

1-3 inches

Insulation needs vary by climate zone and local codes, measured by R-value (resistance to heat flow). For accurate recommendations on attic, wall, floor, or crawlspace insulation, consult the **DOE climate zone map**, local building standards, or a qualified insulation contractor.

Proper insulation improves comfort, lowers energy costs, and helps control moisture when paired with good ventilation.

Note: A home inspection provides only a visual review of accessible insulation and does not determine sufficiency or code compliance.

Limitations

Roof & Attic Structure

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited. According to the NJ Home Inspector Standards of Practice, a inspector is not required to enter any area or perform any procedure that is, in the opinion of the licensee, unsafe and likely to be dangerous to the inspector or other persons. With this, I was unable to see everything within the attic space where plywood or other type of flooring was not attached to the joists to allow easy access and safe movement throughout the attic space.

Attic Insulation

INSULATION NOT MOVED

During the process of the inspection, the inspector will not attempt to move or disturb insulation to view components hidden behind the material. Any defects HIDDEN underneath the insulation are disclaimed.

Deficiencies

6.1.1 General

 Significant Defect or Safety Hazards

BATHROOM FAN EXHAUSTS INTO ATTIC

The bathroom exhaust fan was observed to discharge directly into the attic instead of venting to the exterior of the home. Exhaust fans are intended to remove moisture-laden air from bathrooms and discharge it outside. When moisture is released into the attic, it can increase humidity levels and contribute to condensation, mold-like growth, deterioration of roof sheathing, and reduced effectiveness of attic insulation.



Recommendation

Contact a qualified general contractor.

6.1.2 General

 Significant Defect or Safety Hazards

IMPROPERLY INSTALLED ATTIC PULL-DOWN LADDER

The attic pull-down ladder appeared to be improperly installed. The ladder assembly may not have been securely fastened to the surrounding framing or may not have been properly aligned within the attic access opening. Improper installation can affect the stability and safe operation of the ladder and may place additional stress on the ladder components and surrounding framing. Continued use in this condition may increase the risk of ladder movement or failure during operation.

Recommendation

Contact a qualified general contractor.



Improper fasteners used to install the folding attic ladder



Improper fasteners used to install the folding attic ladder



Improper fasteners used to install the folding attic ladder

6.1.3 General

 Minor Defect, Maintenance Item, or FYI Items

OLD ANTENNA ABANDONED IN ATTIC

An old antenna was observed abandoned in the attic. Abandoned equipment and materials left in attic spaces can contribute to clutter and may interfere with access, maintenance, or the installation of insulation and ventilation components. Older antenna wiring or mounting hardware may also become loose or deteriorated over time.



Recommendation

Contact a handyman or DIY project

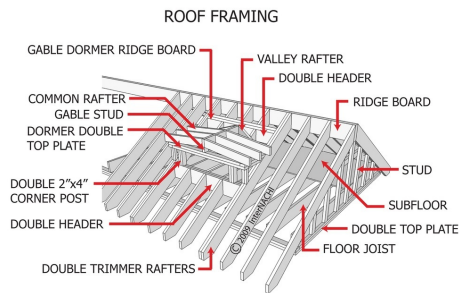
6.2.1 Roof & Attic Structure

CRACKED ROOF RAFTER
 Significant Defect or Safety Hazards

A roof rafter was observed to have a visible crack in the attic. Rafters are structural members that help support the roof system and distribute loads to the exterior walls. Cracking in framing members may reduce the strength of the component depending on the size and location of the crack. Continued loading and seasonal movement may cause the crack to expand over time. Further evaluation can help determine whether reinforcement or repair is needed.

Recommendation

Contact a qualified general contractor.



6.2.2 Roof & Attic Structure

IMPROPERLY NOTCHED ROOF RAFTER
 Significant Defect or Safety Hazards

A roof rafter in the attic was observed to have been notched. Structural rafters are designed to carry roof loads based on their original size and shape. Notching removes material from the framing member and may reduce its ability to support loads as intended. Structural alterations are sometimes performed to accommodate mechanical, plumbing, or electrical installations. Further evaluation may help determine whether reinforcement or repair is recommended.

Recommendation

Contact a qualified structural engineer.



Appears the cut rafters have not been repaired.

6.2.3 Roof & Attic Structure

RAFTER SEPARATING FROM RIDGE BEAM
 Marginal Defect

A roof rafter was observed to be separating from the ridge beam in the attic. Rafters connect to the ridge beam to help support the roof structure and distribute loads through the framing system. Separation at this connection may reduce the effectiveness of the structural joint and may allow movement within the roof framing over time. This condition may occur due to structural movement, inadequate fastening, or previous alterations to the framing. Further evaluation is recommended to determine the extent of the condition and whether reinforcement or repair is necessary.

Recommendation

Contact a qualified structural engineer.



All rafter appeared to be separating from the ridge beam. Recommend installed rafter ties to prevent more movement and separation.



All rafter appeared to be separating from the ridge beam. Recommend installed rafter ties to prevent more movement and separation.

6.2.4 Roof & Attic Structure

⚠ Significant Defect or Safety Hazards

STRUCTURAL MEMBER SISTERED IMPROPERLY

A structural framing member in the attic had been sistered with an additional member, but the installation appeared to be incomplete or improperly secured. Sistering is commonly used to reinforce damaged or weakened framing members. When reinforcement members are not properly fastened or do not extend the full length of the original member, the repair may not provide the intended structural support. Improper reinforcement may allow continued movement or deflection of the framing. Further evaluation may help determine whether improved reinforcement is needed.

Recommendation

Contact a qualified structural engineer.



6.3.1 Attic Insulation

⊖ Marginal Defect

INSUFFICIENT ATTIC INSULATION

The level of insulation observed in the attic appeared to be insufficient to provide effective thermal resistance between the attic and the living space below. Adequate insulation helps reduce heat transfer and contributes to improved energy efficiency and indoor comfort. When insulation levels are low, the home may experience increased heat loss during colder weather and increased heat gain during warmer weather. Lower insulation levels may also contribute to uneven indoor temperatures. Adding insulation may help improve the overall thermal performance of the home.

Recommendation

Contact a qualified insulation contractor.



Blown in insulation appeared to be compressed and inadequate throughout the entire attic.



Blown in insulation appeared to be compressed and inadequate throughout the entire attic.

6.4.1 Ventilation

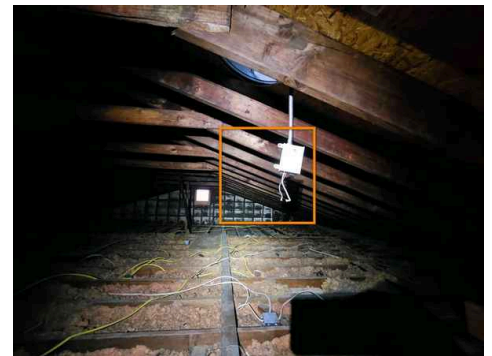
ATTIC FAN INOPERABLE

 Marginal Defect

The attic ventilation fan did not operate when tested using normal controls at the time of the inspection. Attic fans are intended to assist with removing heat and moisture from the attic space. When the fan is not operational, the attic ventilation system may not function as intended. The cause of the inoperable condition was not determined during the inspection and may involve electrical components, the motor, or the control system. Further evaluation may help determine the cause of the condition and whether repair or replacement is necessary.

Recommendation

Contact a qualified electrical contractor.



Attic fan installed and not connected to a source of power.

7: CRAWLSPACE

Information

General: Under-Floor Crawl Access Location

Floor

General: Inspection Method

Entered and partially traversed
due to clearance/obstructions

General: Type of Under-Floor Crawlspace Foundation

Described

Dirt

Homes Floor Structure: Material

Wood Beams

Homes Floor Structure: Sub-floor

Plank

General: Under-Floor Crawlspace Inspected

The crawlspace was visually inspected, including the floor structure, insulation, ventilation, and vapor retarder. Components were evaluated for general condition and signs of damage, moisture intrusion, or improper installation that may affect performance. The sump pump was also inspected if present.

The crawlspace was inspected from accessible areas only; insulation was not moved, and areas with limited clearance or unsafe conditions were not entered. Observations are limited to visible components at the time of inspection, and concealed or inaccessible conditions could not be assessed. The crawlspace is considered functional unless otherwise noted.



General: Homeowner's Responsibility

Crawlspaces are often overlooked, but regular monitoring is essential to protect your home from moisture damage, pest activity, and structural concerns. Homeowners should periodically check the following:

- **Moisture & Drainage:** Look for standing water, damp soil, or condensation on surfaces. Ensure the crawlspace has proper grading, drainage, and a functional vapor barrier. Poor moisture control can lead to mold, wood rot, and air quality issues.
- **Ventilation:** Make sure crawlspace vents (if present) are unobstructed to allow airflow. In some cases, conditioned or sealed crawlspaces may be designed without open vents—consult a professional if unsure.
- **Insulation:** Check for fallen or damaged insulation. Proper insulation helps regulate temperatures and prevent frozen pipes in winter.
- **Pest Activity:** Watch for signs of rodents, termites, or other pests, including droppings, gnawed materials, or tunnels in wood. Address entry points and consult a licensed pest professional if needed.
- **Ductwork & Plumbing:** Inspect for disconnected ducts, leaking pipes, or damaged insulation on HVAC lines.

Regular crawlspace inspections—especially after heavy rain—help identify small issues before they lead to costly repairs. If access is limited or conditions are unsafe, hire a qualified professional for evaluation.

Vapor Retarders: Vapor Retarders Were Inspected

The crawlspace vapor retarder (barrier) was inspected in accordance with the Standards of Practice. Vapor retarders help reduce soil moisture, humidity, mold, and structural decay.

A proper installation should include **6-mil polyethylene or equivalent**, continuous coverage over exposed soil, sealed seams, extension up foundation walls, and minimal tears or gaps. During the inspection, I evaluated its presence, coverage, material type, and general condition. Any deficiencies are noted in this report.

Ventilation in Crawlspace: Ventilation Inspected

The crawlspace was inspected for proper ventilation, as adequate airflow helps control moisture, prevent mold, and protect structural components.

General guidelines (per IRC):

- Vented crawlspaces require **1 sq. ft. of vent area per 150 sq. ft.** of floor space, or **1:1,500 sq. ft.** if a vapor retarder is present.
- Vents should be within 3 ft. of corners for cross-ventilation, screened with corrosion-resistant mesh $\leq 1/8$ in.
- Unvented (conditioned) crawlspaces typically require HVAC supply or mechanical ventilation and perimeter wall insulation.

Deficiencies

7.1.1 General

ACTIVE ROOTS OBSERVED IN CRAWLSPACE



Marginal Defect

Active plant roots were observed extending into the crawlspace area at the time of the inspection. Root growth within a crawlspace can indicate vegetation encroachment from the exterior and may contribute to moisture retention or disturbance of soil conditions beneath the structure. Over time, continued root growth may affect the crawlspace environment and could potentially impact nearby structural components or utility lines. Managing vegetation near the structure helps reduce the likelihood of continued root intrusion into the crawlspace area.

Recommendation

Contact a qualified landscaping contractor



There were roots throughout the crawlspace from the old trees that have been removed around the perimeter of the house.

7.1.2 General

MAJOR FOUNDATION CRACK OBSERVED IN CRAWLSPACE



Significant Defect or Safety Hazards

A significant crack was observed in the foundation wall within the crawlspace at the time of the inspection. Large foundation cracks may indicate structural movement or settlement and can allow moisture to enter the crawlspace area. Continued movement or moisture intrusion may affect the performance of the foundation and adjacent structural components over time. Further evaluation is recommended to determine the extent of the condition and whether corrective measures are needed.

Recommendation

Contact a qualified structural engineer.



7.1.3 General

POSSIBLE MICROBIAL GROWTH OBSERVED IN CRAWLSPACE

Areas of discoloration consistent with possible microbial growth were observed on surfaces within the crawlspace at the time of the inspection. Such conditions are commonly associated with elevated moisture levels or prolonged dampness in enclosed areas. The presence of suspected growth may indicate that moisture conditions have existed that allow biological material to develop on wood or other surfaces. Further evaluation may help determine the extent of the condition and whether corrective actions are appropriate to address moisture and affected materials.

 Marginal Defect



Swab sample taken

40

Recommendation

Contact a qualified mold inspection professional.

7.1.4 General

STANDING WATER OBSERVED IN CRAWLSPACE

 Significant Defect or Safety Hazards

Standing water was observed in the crawlspace at the time of the inspection. The presence of pooled water beneath the structure can contribute to elevated moisture levels that may affect wood framing, insulation, and other materials located in the area. Prolonged moisture exposure may lead to deterioration of structural components and can create conditions favorable for biological growth or pest activity. Further evaluation is recommended to determine the source of the water and to address drainage or moisture management concerns.

Recommendation

Contact a qualified waterproofing contractor



7.2.1 Vapor Retarders

 Marginal Defect

IMPROPER VAPOR RETARDER MATERIAL IN CRAWLSPACE

The material used as a vapor retarder in the crawlspace appeared to be unsuitable for this application at the time of the inspection. Materials not intended for ground moisture control may deteriorate quickly or fail to effectively limit moisture migration from the soil. When improper materials are used, the crawlspace environment may be more susceptible to elevated humidity levels. Using an appropriate vapor retarder material helps improve moisture management beneath the home.

Recommendation

Contact a qualified waterproofing contractor



Asphalt material used in which it had dried and became brittle. Recommend having a waterproofing company remove the old vapor barrier and install new 6 mil poly vapor barrier.

7.3.1 Homes Floor Structure

 Significant Defect or Safety Hazards

FLOOR JOIST SPLITTING OBSERVED

A floor joist within the crawlspace was observed to have a visible split at the time of the inspection. Splitting in structural framing members can occur due to drying stresses, loading conditions, or age of the material. Depending on the size and location of the split, the ability of the joist to adequately support loads above may be reduced. Further evaluation is recommended to determine the extent of the condition and whether reinforcement or repair may be appropriate.



Near the front portion of the house.

Recommendation

Contact a qualified structural engineer.

7.3.2 Homes Floor Structure

 Significant Defect or Safety Hazards

JACK POST NOT SECURED

A jack post within the crawlspace was observed to not be properly secured at the time of the inspection. Adjustable support posts are typically intended to be fastened or stabilized at the top and bottom to help prevent movement. When a jack post is not secured, it may shift or become displaced under load. This condition may affect the stability of the structural support system and the floor structure above.

Recommendation

Contact a qualified structural engineer.



8: PLUMBING

Information

General: Main Water Shut Off

Location

Laundry room

General: Water Source

Public

General: Drainage Method

Municipal

General: Filters

None

Drain, Waste, & Vent Systems:

Drain / Waste / Vent Material(s)

PVC

Water Heater(s): Location

Laundry Room

Water Heater(s): Capacity

40 gallons

Water Heater(s): Power

Source/Type

Natural Gas

Fuel Storage & Distribution

Systems: Location of Main Gas

Shut-Off Valve

Laundry area

Fuel Storage & Distribution

Systems: Fuel Type(s)

Natural Gas

Fuel Storage & Distribution

Systems: Visible fuel line

Black Iron

General: Inspection Method

The plumbing system was evaluated by operating multiple fixtures simultaneously to observe flow, drainage, and leaks. Fixture shutoff valves were not tested.

The water heater was visually inspected for installation, corrosion, and leakage, but internal components, controls, and safety valves were not tested.

For a more detailed assessment, further evaluation by a licensed plumber is recommended.

General: Homeowner's Responsibility

Your home's plumbing system requires regular monitoring and maintenance to prevent leaks, water damage, and costly repairs. Homeowners are advised to routinely check the following:

- **Fixtures & Faucets:** Inspect for drips, leaks, or corrosion around sinks, tubs, showers, and toilets. Prompt repairs help conserve water and prevent damage to cabinets and flooring.
- **Visible Pipes:** Check exposed plumbing in basements, crawlspaces, and under sinks for signs of leaks, rust, mineral buildup, or condensation. Monitor during cold weather for signs of freezing or bulging.
- **Water Heater:** Inspect the unit annually for rust, leaks, or corrosion. Test the temperature-pressure relief (TPR) valve and flush sediment buildup as recommended by the manufacturer. Keep the area around the heater clear and accessible.
- **Shut-Off Valves:** Know the location of your main water shut-off and test it periodically to ensure it operates smoothly. Also test shut-offs under sinks and toilets to make sure they function in an emergency.
- **Drainage:** Ensure drains flow freely and do not back up. Use strainers to catch debris and avoid chemical drain cleaners, which can damage pipes.
- **Washing Machine & Dishwasher Hoses:** Check for bulging, cracking, or loose connections. Replace aging rubber hoses with braided stainless steel for added protection.

Routine checks and timely maintenance help prevent leaks, water waste, and hidden damage. For any concerns beyond visual inspection, consult a licensed plumber.

General: Visible water distribution

Copper, Pex Plastic

Polybutylene Plumbing – Advisory

If polybutylene piping is present, further evaluation by a licensed plumber is strongly recommended. This material is prone to deterioration and failure, often leading to leaks and water damage.

Polybutylene is no longer used in modern construction, and some insurance companies may restrict coverage for homes with this piping. Replacement is often advised to ensure plumbing reliability and safety.

Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes

Visible portions of the water supply piping were inspected, though many components were concealed by walls, ceilings, or stored items. Hidden leaks or issues may exist in areas not accessible.

Ask the homeowner or seller about past plumbing leaks, repairs, or water pressure concerns. If issues are reported or suspected, consult a licensed plumber for further evaluation.

Limitation Water valves are NOT operated during the inspection as issues could arise and cause leaking if manipulated during the inspection, especially on older valves.



Shut-Off

Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

Visible portions of the DWV piping were inspected, though many areas were concealed by finishes, insulation, or obstructions. Hidden leaks, blockages, or venting issues may not be detectable during a visual inspection.

Ask the homeowner or seller about past blockages, repairs, or leaks. If concerns exist, further evaluation by a licensed plumber or sewer scope inspection is recommended.



Water Heater(s): Inspected Hot Water Source

The hot water system was visually inspected in accordance with the Standards of Practice, including the water heater, plumbing connections, TPR valve, and hot water delivery. This was a non-invasive inspection, limited to accessible components without dismantling equipment.

The purpose was to assess the general condition, functionality, and safety features of the system at the time of inspection.

Periodic testing of TPR valve and confirmation of proper function by a licensed plumber are recommended, especially on older systems.



2008

Water Heater(s): Brand

Bradford & White

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Water Heater(s): Water Temperature

Hot Water Temperature – Advisory

Water temperature is checked at the heater or a nearby faucet when possible.

- Below 120°F: May not control waterborne pathogens (e.g., Legionella).
- Above 130°F: Poses a scalding risk, especially for children and the elderly.

For safety, set the water heater to deliver hot water between 120°F and 125°F. If the system was shut off or not operational, this check was not applicable.



Taken at kitchen sink

Water Heater(s): Annual Maintenance Recommended

Water Heater – Annual Maintenance Advisory

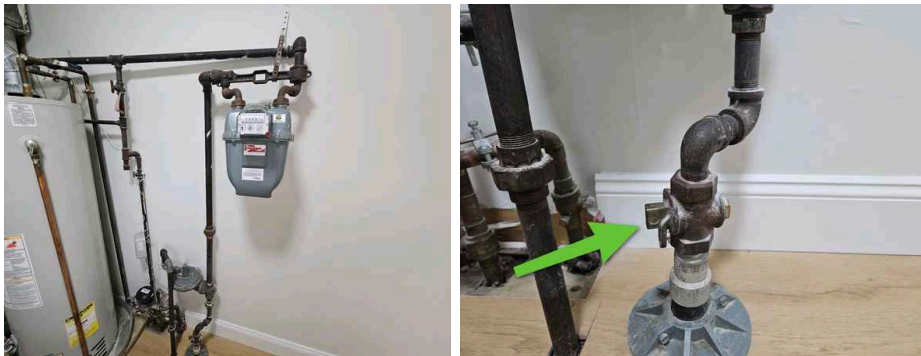
Yearly maintenance is important for safe, efficient operation and longer system life. Recommended tasks include:

- Flushing the tank to remove sediment buildup.
- Inspecting and testing the pressure relief valve.
- Checking the anode rod for corrosion.

Professional servicing once a year is strongly recommended to help prevent breakdowns and costly repairs.

Fuel Storage & Distribution Systems: Fuel Storage & Distribution System Was Inspected

The fuel storage and distribution system was visually inspected for general condition and signs of leaks, damage, or improper installation. Accessible components were evaluated for observable safety concerns and performance. The system is considered functional unless otherwise noted.



Shut-Off

Limitations

General

UNDERGROUND PIPING

The underground piping to the street was not fully verified for serviceability. Recommend scoping of the drain and exploring options for a third party water and sewer line protection plan.

Water Supply & Distribution Systems

SHUT-OFF VALVES NOT TESTED

Shut-Off Valves to toilets, sinks, tubs, and hose bibs shall not be tested by the inspector. These Valves require occasional operation to avoid seal leaks and valve seizing when they are actually needed.

Deficiencies

8.2.1 Water Supply & Distribution Systems

CORRODED WATER SUPPLY PIPING

 Marginal Defect

Sections of the water supply piping showed visible corrosion. Corrosion can develop over time due to age, moisture exposure, or reactions between materials within the plumbing system. Progressive corrosion may weaken piping and fittings, which can eventually lead to leakage or restricted water flow. While the piping was functional at the time of inspection, the condition indicated deterioration that may continue with normal use. Further evaluation and repair or replacement as needed is recommended.

Recommendation

Contact a qualified plumbing contractor.



8.2.2 Water Supply & Distribution Systems

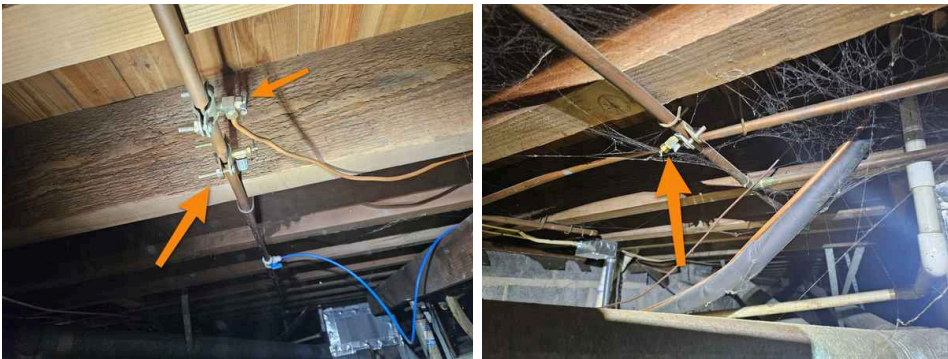
 Marginal Defect

SADDLE VALVE INSTALLED ON WATER SUPPLY LINE

A saddle valve was observed installed on a water supply pipe. This type of valve is commonly used to tap into a pipe but can be prone to leakage or clogging over time. The design creates a small puncture in the pipe wall, which may restrict water flow or contribute to deterioration at the connection point. While it may function for light-duty applications, long-term reliability is often limited. Evaluation and replacement with a more durable valve connection is recommended.

Recommendation

Contact a qualified plumbing contractor.



8.3.1 Drain, Waste, & Vent Systems

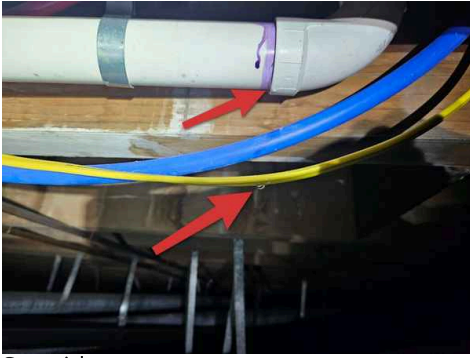
 Significant Defect or Safety Hazards

DRAIN PIPE - ACTIVELY LEAKING

An active leak was observed at a section of the drain piping during the inspection. Leakage from drain lines can allow wastewater to escape into surrounding areas and may contribute to deterioration of nearby building materials if the condition continues. Continued moisture exposure may also create conditions that promote material damage or biological growth. Drain piping is intended to safely carry wastewater away from the home without leakage. Further evaluation and repair of the affected drain line is recommended.

Recommendation

Contact a qualified plumbing contractor.



See video

8.4.1 Water Heater(s)

 Marginal Defect

WATER HEATER – AGED UNIT

The water heater appeared to be older based on its observed condition and typical service life for this type of appliance. Water heaters gradually deteriorate over time as internal components experience normal wear from heating water and exposure to minerals within the water supply. As the unit ages, the likelihood of leaks, reduced efficiency, or mechanical failure may increase. Older units may also have a shorter remaining service life compared to newer installations. Planning for future replacement of the water heater is recommended.

Recommendation

Contact a qualified plumbing contractor.

9: ELECTRICAL

Information

**Main & Subpanels: Panel
Manufacturer**

Siemens

Main & Subpanels: Panel Capacity

100 AMP

**Main & Subpanels: Main Branch
Wires**

Copper

General: Inspection Method**Electrical Inspection Overview**

The main electrical panel cover was removed, when accessible, to visually inspect breakers, wiring, and labeling. Readily accessible outlets were tested for power and polarity, and light fixtures or ceiling fans were operated where present.

Limitations:

- Voltage drop testing is not included.
- Outlet and switch covers are not removed.
- Inaccessible components (e.g., behind furniture or appliances) are excluded.

General: Homeowner's Responsibility

The electrical system should be regularly monitored for safety, performance, and potential hazards. While major electrical work must be performed by a licensed electrician, homeowners are responsible for basic maintenance and visual checks:

- **Service Panel (Breaker Box):** Ensure the panel remains accessible and labeled correctly. Periodically check for signs of rust, scorch marks, buzzing sounds, or warm breakers—these may indicate overheating or loose connections and should be evaluated by a professional.
- **Outlets & Switches:** Test for functionality and check for discoloration, cracking, or loose-fitting plugs. Non-functioning or warm outlets may signal wiring issues.
- **GFCI & AFCI Protection:** Test Ground Fault Circuit Interrupters (GFCIs) monthly using the built-in test/reset buttons, especially in kitchens, bathrooms, garages, and exterior areas. If present, test Arc Fault Circuit Interrupters (AFCIs) at the panel as recommended by the manufacturer.
- **Extension Cords & Power Strips:** Avoid overloading circuits or relying on extension cords for permanent use. Use surge protection where appropriate, especially for electronics.
- **Light Fixtures:** Use bulbs with wattages that match fixture ratings. Inspect for loose connections, flickering lights, or excessive heat, which may indicate a wiring issue.
- **Exterior & Wet Area Safety:** Ensure all outdoor, bathroom, kitchen, and laundry area outlets are GFCI-protected. Replace missing or damaged cover plates.

Regular homeowner awareness can prevent electrical hazards and improve system longevity. For any suspected issues or upgrades, always consult a licensed electrician.

Service Entrance: Inspected the Service Grounding & Bonding

I inspected the electrical grounding and bonding system, which helps protect against shock, fire, and equipment damage. The inspection included verifying visible grounding electrode conductors, checking bonding between metallic systems (such as water or gas pipes), and noting any loose, missing, or corroded connections.

This was a visual inspection of accessible components only. Concealed or underground elements were not evaluated. Any suspected deficiencies should be further assessed by a licensed electrician.



Service Entrance: Electrical Service Conductors

Overhead, 120 Volts

The conductors from the service point to the service disconnecting means (service equipment). Service conductors would include service-entrance conductors for both overhead (service drop) and underground (service lateral).

The service amperage is determined by inspecting the service entrance conductors size as well as the service disconnects size. Voltages are not tested for and therefore not confirmed, so 120/240VAC is presumed based on the ratings at the meter. If a concern, a licensed electrician could test for proper voltages to see if 120/208VAC is present. In some situations the sizing of the service entrance conductors will not be legible or marked and the stated amperage will be followed by "presumed" as it could not be verified.

Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electric meter and base for visible signs of damage, deterioration, or improper installation. The inspection included checking that the meter was securely mounted, properly sealed, and free of significant rust, corrosion, or gaps that could allow moisture or pests to enter.

This was a visual inspection only. The meter itself is utility-owned equipment and was not opened or tested. Any concerns should be referred to the utility provider or a licensed electrician.



Main & Subpanels: Inspected Panel(s) & Breakers

I inspected the electrical panel(s) and overcurrent protection devices (circuit breakers and/or fuses). The inspection included checking for proper labeling, visible signs of overheating, corrosion, or damage, double-tapped breakers, missing knockouts, and confirming the main service disconnect was accessible.

This was a visual, non-invasive inspection; voltage, current, or individual breaker testing was not performed. Any concerns regarding outdated equipment, improper installations, or safety hazards are noted in this report. If deficiencies are found or suspected, further evaluation by a licensed electrician is strongly recommended.



Main & Subpanels: Main Panel Location

Laundry Room

The main service panel (breaker panel) is to control the electricity that reaches different rooms and areas in your home. It protects the circuits and keeps track of the panels amperage capacity. The service panel is also known as a service disconnect panel as it can be used to cut power to your house including all the circuit breakers. The panel prevents your circuits from getting overheated due to defective appliances or wiring issues. A breaker is connected by 3 wires (or 2 if an older ungrounded wire system) to several connection boxes or outlets along each circuit. Electric current is passed through the live/hot wire. The grounding (ground) and grounded (neutral) serve as the safety features and are connected to the breaker terminal that is further connected to the panels grounding system.

Main & Subpanels: Panel Type(s)

Circuit Breaker

If fuses exist, it may be beneficial to update to a breaker style panel for increased service capacity and updated safety.

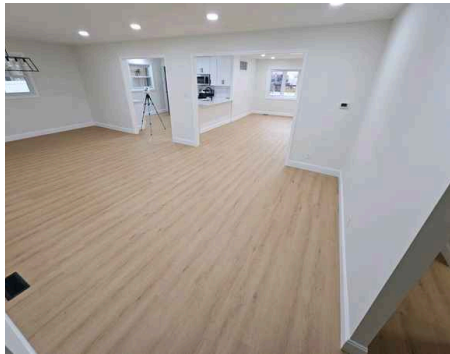
10: INTERIORS

Information

Walls & Ceiling: Ceiling Material Drywall (sheetrock/gypsum board)	Walls & Ceiling: Wall Material Drywall (sheetrock/gypsum board)	Window: Window Type & Material Double-hung, Double Pane, Vinyl, Casement
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General: Inspection Method

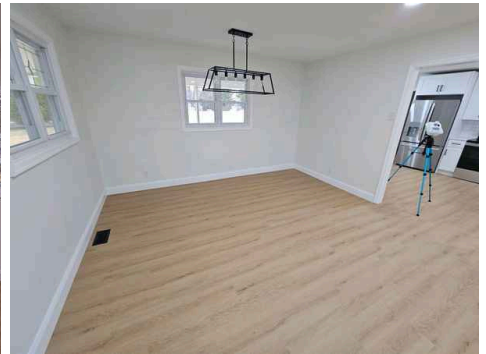
The interior rooms were visually inspected for visible defects and safety concerns. Readily accessible windows, doors, switches, and outlets were tested for basic operation. Flooring, walls, and ceilings were observed for signs of damage. Cabinetry or built-ins, if present, were checked without disturbing stored items. Plumbing fixtures are not typically present in this area and were not inspected unless applicable.



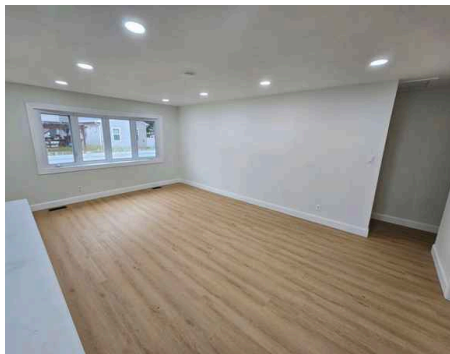
Living Room



Foyer



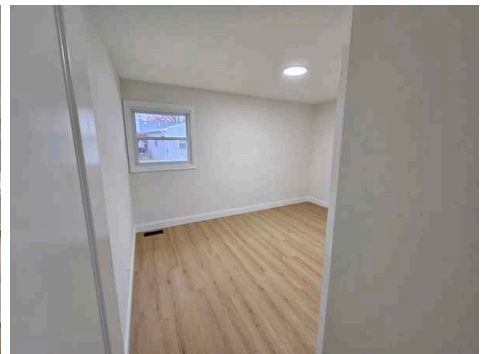
Dining Room



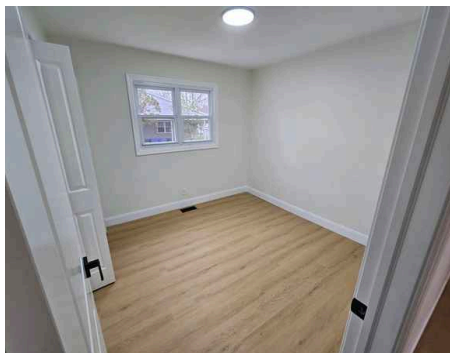
Family Room



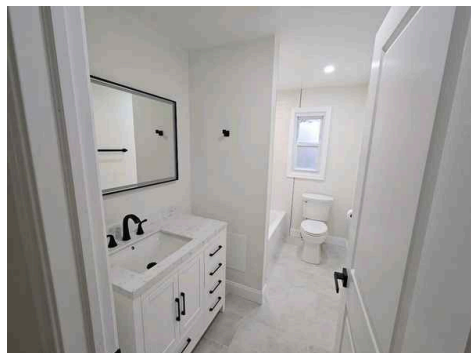
Kitchen



Rear Bedroom



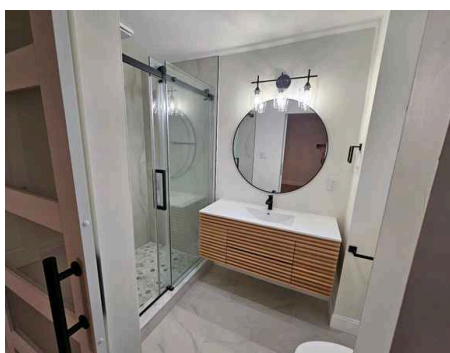
Middle Bedroom



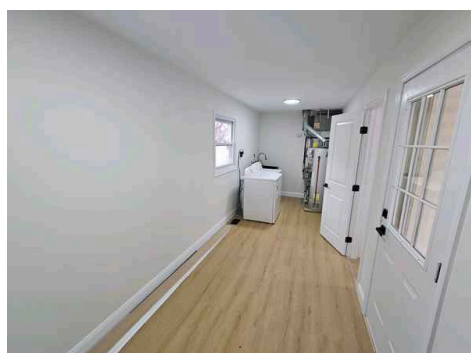
Bathroom 1



Front Bedroom



Bathroom 2



Laundry Room

Walls & Ceiling: Walls & Ceilings Were Inspected

The inspector evaluated the general condition of the interior walls and ceilings through visual observation, noting structural integrity, signs of moisture intrusion, and any significant damage. Cosmetic or aesthetic concerns such as nail holes, paint imperfections, or minor blemishes are not part of this assessment. Only visible areas were inspected for cracks, stains, damage, or structural concerns. The inspection was limited to a visual examination; furnishings were not moved and finishes were not disturbed, so concealed conditions may be present.

Interior Doors: Doors Were Inspected

A representative number of interior doors were inspected for basic operation and closure. Locks, stops, and security hardware are outside the scope of a standard home inspection.

Window: Windows Were Inspected

A representative number of windows were opened and closed to check basic functionality and visible defects. Locks, latches, and other features were not tested, as they are outside the scope of a standard home inspection.

Floors: Floor Coverings

Vinyl

Visible portions of the floors were inspected for significant defects such as unevenness, damage, or signs of moisture intrusion. Cosmetic or aesthetic concerns, including minor scratches, are not reported unless considered substantial. Furniture, rugs, and stored items may have restricted visibility, and no floor coverings were lifted, as this inspection was visual and non-invasive. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.

Lighting Fixtures, Switches & Receptacles: Switches, Fixtures & Receptacles Were Inspected

A representative number of switches, fixtures, receptacles, and ceiling fans were inspected for basic function and safety in accordance with the Standards of Practice. The inspection was limited to visible and accessible components; concealed or obstructed wiring was not evaluated. Ceiling fans were visually inspected and tested, when possible, for normal operation and stability. All ceiling fans appeared functional at the time of inspection unless otherwise noted in this report.

Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

The presence of smoke and carbon monoxide detectors was noted. Smoke detectors should be installed in each bedroom, outside sleeping areas, and on every level of the home. Carbon monoxide detectors should be located outside sleeping areas and on each level where fuel-burning appliances are present.

In accordance with the New Jersey Standards of Practice, the functionality of these detectors was **not tested**.

Recommendation:

- Test detectors monthly
- Replace batteries annually or as recommended
- Replace detectors every 7–10 years per manufacturer guidelines
- Consult local fire officials or a qualified professional to confirm proper placement and compliance with current safety standards

Heating source: Heating Source Was Inspected

Each habitable room was inspected for the presence of a permanent heat source (radiator, baseboard, vent, or wall unit) in accordance with the Standards of Practice.

This was a visual inspection only; adequacy, performance, or temperature output were not evaluated. Any rooms lacking a heat source are noted in this report.

Deficiencies

10.4.1 Window

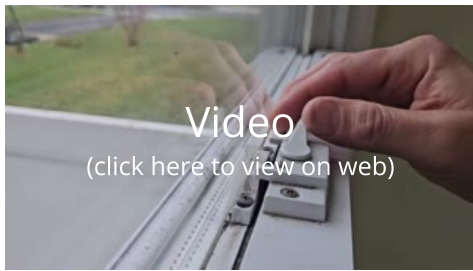


WINDOW DOES NOT LATCH / LOCK

The window did not latch or lock properly during testing. This condition may affect security and proper sealing of the window. The issue may be related to hardware failure or alignment concerns. Repair or replacement of components may be needed.

Recommendation

Contact a qualified window repair/installation contractor.



Rear Bedroom



Rear Bedroom

10.6.1 Lighting Fixtures, Switches & Receptacles

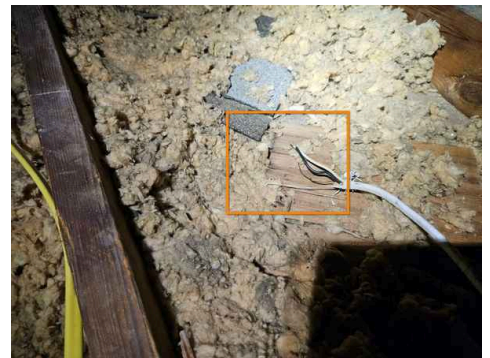
Marginal Defect

ABANDONED WIRING OBSERVED

Wiring was observed that appeared to be abandoned and not connected to active electrical components. The purpose and condition of this wiring could not be fully determined at the time of inspection. Unused wiring may create confusion and could be unintentionally energized in the future. Further evaluation is recommended.

Recommendation

Contact a qualified electrical contractor.



Wires should terminate in a junction box and wires capped off

10.6.2 Lighting Fixtures, Switches & Receptacles

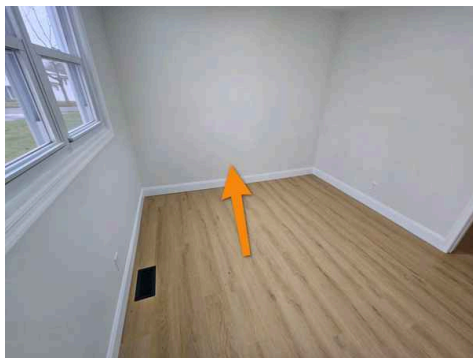
Marginal Defect

INADEQUATE NUMBER OF RECEPTACLES

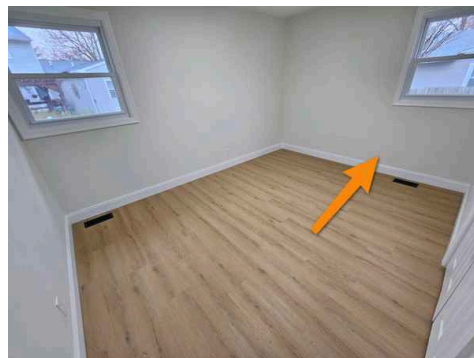
The number of receptacles appeared limited for the space. Limited access to outlets may lead to the use of extension cords or adapters. Increasing the number of receptacles may improve usability.

Recommendation

Contact a qualified electrical contractor.



Middle Bedroom



Rear Bedroom

10.6.3 Lighting Fixtures, Switches & Receptacles

Significant Defect or Safety Hazards

JUNCTION BOX - OPEN

A junction box was observed to be open without a cover. Open boxes may expose wiring connections. This condition may present a safety concern and should be corrected.

Recommendation

Contact a qualified electrical contractor.



10.6.4 Lighting Fixtures, Switches & Receptacles

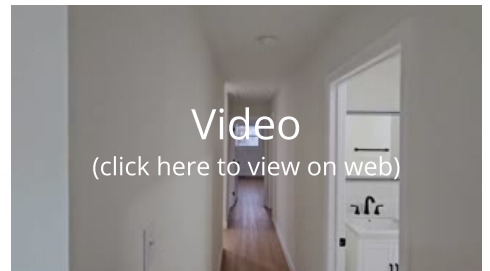
Marginal Defect

LIGHT - INOPERABLE

The light did not operate during testing. This condition may be due to a failed bulb, faulty fixture, switch issue, or wiring concern. The exact cause was not determined at the time of inspection. Further evaluation may be needed to restore proper function.

Recommendation

Contact a qualified electrical contractor.



Hallway

10.6.5 Lighting Fixtures, Switches & Receptacles

Significant Defect or Safety Hazards

OUTLET - OPEN GROUND

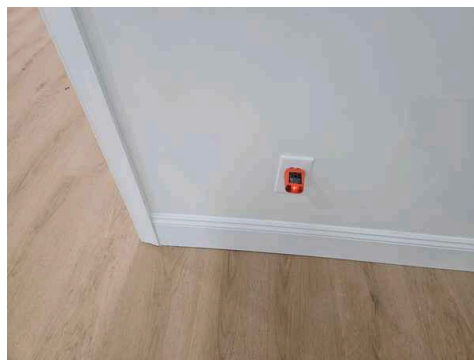
Testing indicated an open ground condition at the outlet. This condition may affect the performance of connected devices. The issue may be related to wiring configuration. Further evaluation is recommended.

Recommendation

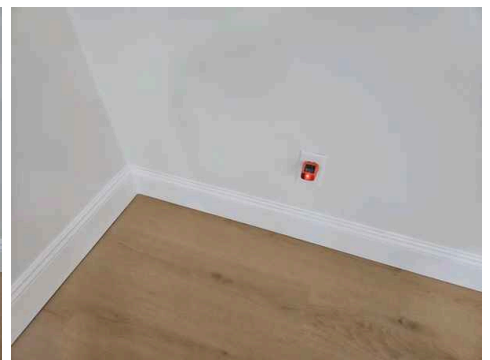
Contact a qualified electrical contractor.



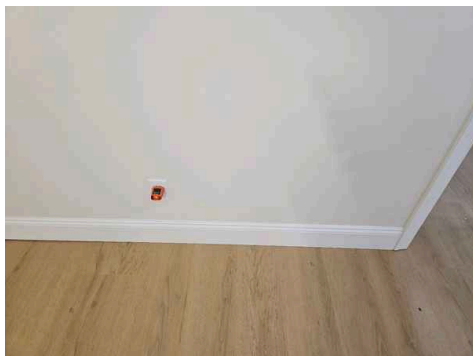
Foyer



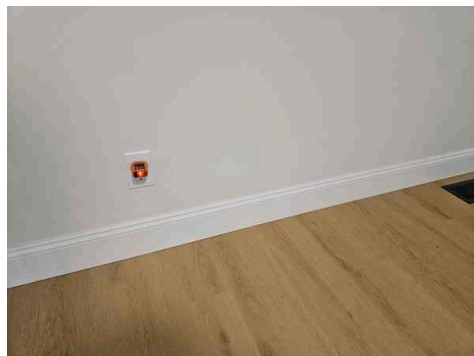
Living Room



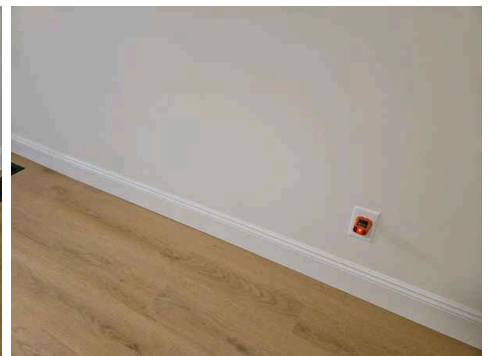
Dining Room



Dining Room



Front Bedroom



Front Bedroom



Front Bedroom

10.6.6 Lighting Fixtures, Switches & Receptacles

MISSING WIRE CLAMPS AT TERMINATION



Significant Defect or Safety Hazards

Wire clamps were missing where conductors terminated at the enclosure. Clamps are intended to help secure the wiring and protect it from damage where it enters the cabinet or box. When these components are absent, the wiring may have been more vulnerable to movement, abrasion, or strain at the point of entry. A qualified electrician should further evaluate this condition and make repairs as needed.

Recommendation

Contact a qualified electrical contractor.



Wires should be secured by the proper clamp to prevent movement. The vibration of the fan and the sharp metal of the box will eventually "cut" through the sheathing of the wire lead to possible electrical shock.



Wires should be secured by the proper clamp to prevent movement. The vibration of the fan and the sharp metal of the box will eventually "cut" through the sheathing of the wire lead to possible electrical shock.

11: KITCHEN

Information

Countertops & Cabinets : Cabinetry Material(s)

Laminate

Countertops & Cabinets : Countertop Material(s)

Quartz

General : Inspection Method

The kitchen was visually inspected for visible defects and safety concerns. Readily accessible windows, doors, switches, and outlets were tested for basic operation. Flooring, walls, and ceilings were observed for signs of damage. Cabinetry or built-ins, if present, were checked without disturbing stored items. Plumbing fixtures are not typically present in this area and were not inspected unless applicable.

Kitchen Sink: Ran Water at Kitchen Sink

The sink was inspected for visible defects, proper drainage, functional hot and cold water flow, and active leaks at accessible plumbing connections. The basin, faucet, and surrounding countertop were also observed for condition.

GFCI Outlet(s): GFCI-Protection Tested

I inspected the GFCI protection for kitchen receptacles within 3 feet of water sources using the test button or a GFCI tester. All required receptacles were GFCI protected and operated properly at the time of inspection. Regular testing is recommended to maintain safety.

Countertops & Cabinets : Inspected Cabinets & Countertops

A representative number of cabinets and countertops were inspected for proper door and drawer operation, as well as visible signs of damage, wear, or moisture intrusion.

This was a visual, non-invasive inspection, and stored items may have limited access to some areas.

Deficiencies

11.2.1 Kitchen Sink

SINK – IMPROPER DRAIN CONFIGURATION (S-TRAP)

The drain piping beneath the sink was configured in a manner that is not consistent with generally accepted standards. The observed configuration may allow sewer gases to enter the interior space if the water seal is compromised. This type of installation may also contribute to drainage performance issues. Correction of the drain configuration is recommended to improve function and reliability. Evaluation by a qualified plumbing professional is advised.

Recommendation

Contact a qualified plumbing contractor.

 Marginal Defect



12: BUILT-IN APPLIANCES

Information

Dishwasher: Brand

GE

Refrigerator: Brand

GE

Range/Oven/Cooktop:

Range/Oven Brand

GE

Range/Oven/Cooktop:**Range/Oven Energy Source**

Electric

Exhaust Fan: Exhaust Type

Recirculation

Built-in Microwave: Built-In**Microwave Brand**

GE

Inspection Method

Appliances (if present) were tested for basic operation only. Efficiency, performance under load, and future reliability are not evaluated, and no warranty is provided. Older appliances should be budgeted for replacement and may warrant further evaluation by a qualified technician.

Dishwasher: Inspected Dishwasher

The dishwasher was run through a short cycle to verify basic functions, including water intake, cycling, and drainage. This was not a full performance test, and no determination is made regarding cleaning effectiveness or future reliability.



Refrigerator: Refrigerator Was Inspected

The refrigerator's water dispenser and icemaker were **not tested**, as they are outside the scope of a standard home inspection. Homeowners should replace the water filter about every 6 months (or per manufacturer guidelines and water quality) to maintain clean water, proper function, and ice quality.



Range/Oven/Cooktop: Turned On Stove & Oven

I turned on the kitchen's stove and oven to verify basic operation. Burners and oven elements responded to controls and produced heat. No evaluation was made of temperature calibration, self-cleaning features, or advanced settings, as these are beyond the scope of a home inspection.

Homeowners are encouraged to refer to the manufacturer's manual for proper use, maintenance, and safety guidelines.



Garbage Disposal: Turned On Garbage Disposal

The garbage disposal was inspected for visible defects, leaks, electrical operation, and drainage. It was activated using normal controls to confirm it powered on and discharged water properly. This was a visual, non-invasive inspection; grinding performance under load was not evaluated, as it is beyond the scope of a home inspection.



Exhaust Fan: Inspected Exhaust Fan

The kitchen exhaust fan was inspected for basic operation. All fans should vent to the exterior to remove moisture and odors; however, confirming the termination point of concealed ductwork is beyond the scope of this inspection.

Built-in Microwave: Microwave Turned On

I observed that the microwave powered on. No further testing was performed. Microwaves are considered beyond the scope of a standard home inspection. Functionality, calibration, and safety features were not evaluated.



Deficiencies

12.1.1 Dishwasher

DISHWASHER – IMPROPERLY SECURED / NOT MOUNTED



Marginal Defect

The dishwasher was observed to be loose or not properly secured within the cabinet opening. Movement was noted when the door was operated. A dishwasher should be firmly mounted to prevent shifting during use. An unsecured unit may place stress on plumbing and electrical connections. Securing the appliance is recommended.

Recommendation

Contact a qualified general contractor.



13: LAUNDRY

Information

Clothes Dryer: Dryer Power Source
Electric

Clothes Dryer: Dryer Vent
Metal (Flex)

General: Inspection Method & Location

First Floor

The laundry room was visually inspected for visible defects and safety concerns. Readily accessible windows, doors, switches, and outlets were tested for basic operation. Flooring, walls, and ceilings were observed for signs of damage. Cabinetry or built-ins, if present, were checked without disturbing stored items. Plumbing fixtures are not typically present in this area and were not inspected unless applicable.

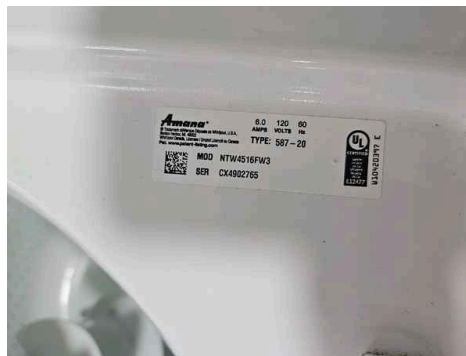
Clothes Dryer: I Inspected The Dryer

The dryer was operated to verify heat production and basic venting. This inspection does not determine the internal condition or full integrity of the vent system. The vent termination was checked for airflow and signs of clogging. Regular vent cleaning and maintenance are the homeowner's responsibility, as lint buildup can reduce efficiency and create a fire hazard. Routine maintenance is strongly recommended to help ensure safe operation and proper ventilation.



Clothes Washer: I Inspected The Washer

I ran the washer on a short cycle to verify basic functionality and to check for visible leaks. At the time of inspection, the unit operated as expected with no apparent water leakage. This check does not guarantee long-term performance or detect internal defects. Regular monitoring and maintenance are recommended.



Clothes Washer: Washer Connections / Drain Pipe Inspected

Washer valves, visible distribution pipes, drain pipe, and plumbing box (if installed) were visually inspected for proper installation and indications of leaking; **valves were off and were not operated.** The valves were off during the inspection, limiting the Inspectors' ability to determine if valves or hoses would leak during use. Any discrepancies will be listed in the report.

Recommendation Use hoses with gaskets/seals and a properly looped drain line from the washer. **Continuously monitor both items for leaks and proper draining when using a washer, especially after the initial hook-up.**

GFCI Outlet(s): GFCI(s) Were Inspected

I inspected the GFCI protection for laundry room receptacles within 6 feet of water sources using the test button or a GFCI tester. All required receptacles were GFCI protected and operated properly at the time of inspection. Regular testing is recommended to maintain safety.

Laundry/Slop Sink: Inspected The Laundry Slop Sink

The sink was inspected for visible defects, proper drainage, functional hot and cold water flow, and active leaks at accessible plumbing connections. The basin, faucet, and surrounding countertop were also observed for condition.

Deficiencies

13.2.1 Clothes Dryer



Minor Defect, Maintenance Item, or FYI Items

DRYER VENT – CLEANING RECOMMENDED

The dryer vent system showed signs that cleaning would be beneficial at the time of inspection. Lint and debris can accumulate within the vent over time and reduce airflow. Reduced airflow may impact drying efficiency and overall performance of the appliance. Routine maintenance helps support proper operation and extends the life of the system. Cleaning of the dryer vent is recommended.

Recommendation

Contact a handyman or DIY project

13.2.2 Clothes Dryer



Significant Defect or Safety Hazards

DRYER VENT – DISCONNECTED

The dryer vent was observed to be disconnected at the time of inspection. This condition allows lint, moisture, and warm air to discharge into the surrounding area rather than being directed outside. Accumulation of these materials can contribute to deterioration of nearby surfaces over time. The system is not functioning as intended in its current condition. Reconnection and proper securing of the vent are recommended.

Recommendation

Contact a handyman or DIY project



13.2.3 Clothes Dryer



Significant Defect or Safety Hazards

DRYER VENT – FLEXIBLE DUCT CRUSHED OR KINKED

The dryer vent duct was observed to be crushed or kinked. This condition restricts airflow and can lead to overheating during operation. Restricted airflow may also cause lint to accumulate within the duct system. This condition reduces efficiency and may increase the risk of damage over time. Correction is recommended.

Recommendation

Contact a handyman or DIY project



14: BATHROOM(S)

Information

Bathroom 1: Location

1st Floor

Bathroom 1: Bathroom Type

3/4 Bath: Toilet - Sink - Shower or
Bathtub

Bathroom 2: Location

1st Floor, Primary Suite

Bathroom 2: Bathroom Type

3/4 Bath: Toilet - Sink - Shower or
Bathtub

General : Inspection Method

The bathroom was visually inspected for defects and safety concerns. Accessible windows, doors, switches, outlets, flooring, walls, ceilings, and ventilation were checked for proper function and signs of damage or moisture intrusion. Plumbing fixtures (sink, toilet, tub, and/or shower) were inspected for leaks, water flow, and drainage. Grout, caulking, and sealants were observed where visible for condition and integrity.

Bathroom 1: Exhaust Fans

Fan with Light

Exhaust fans were inspected and operated. Fans should vent to the exterior to reduce moisture and mold risk, though confirming termination is beyond the scope of inspection. Regular cleaning and maintenance are recommended.

Bathroom 2: Exhaust Fans

Fan with Light

Exhaust fans were inspected and operated. Fans should vent to the exterior to reduce moisture and mold risk, though confirming termination is beyond the scope of inspection. Regular cleaning and maintenance are recommended.

Deficiencies

14.1.1 General

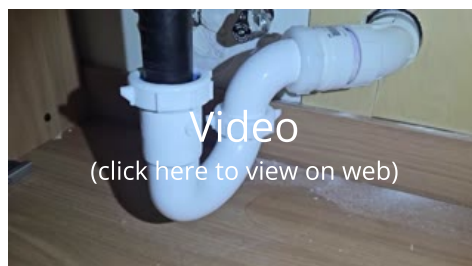
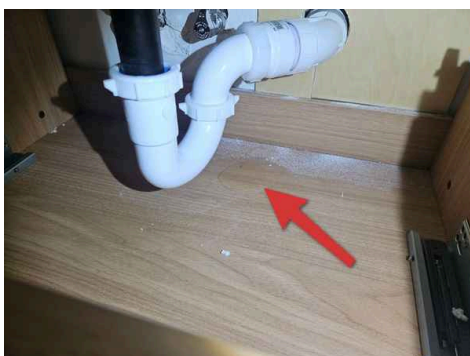
BATHROOM SINK – DRAIN LEAKING

 Significant Defect or Safety Hazards

Leakage was observed at the drain components beneath the bathroom sink during inspection. Water was noted at or around the piping connections. Leaks in this area can contribute to damage of cabinetry and surrounding materials over time. Continued leakage may lead to further deterioration. Repair is recommended.

Recommendation

Contact a qualified plumbing contractor.



Bathroom 2

Bathroom 2 - See video

15: FINAL WALKTHROUGH

Information

General: Appliances Off

Yes

General: Doors Locked

Yes

General: Garage Closed

N/A

General: Lights And Fans Off

Yes

General: Panels Secured

Yes

General: Thermostat At Original Settings

Yes

General: Water Fixtures Off

Yes

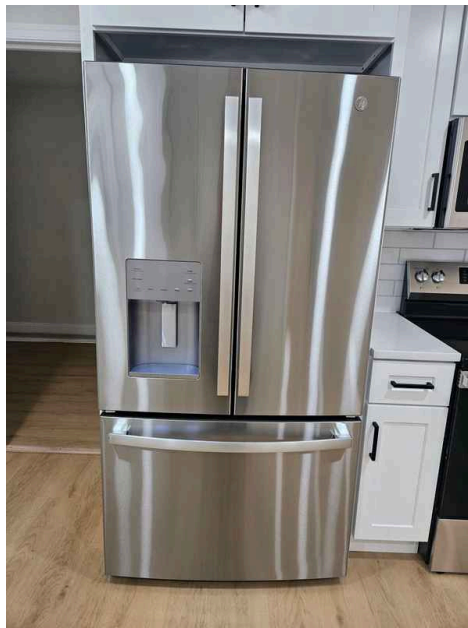
16: HB - APPLIANCE INFORMATION

Information

Air Conditioner - Central Air:

Photos

Refrigerator: Photos



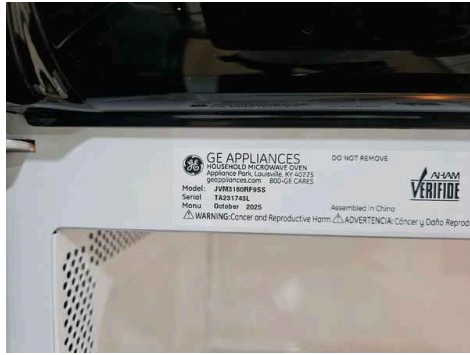
Dishwasher: Photos



Disposal: Photos



Microwave: Photos



Stove/Oven: Photos



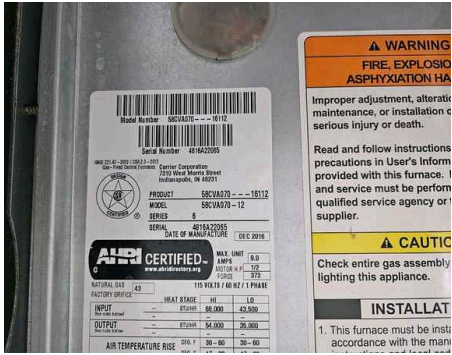
Dryer: Photos



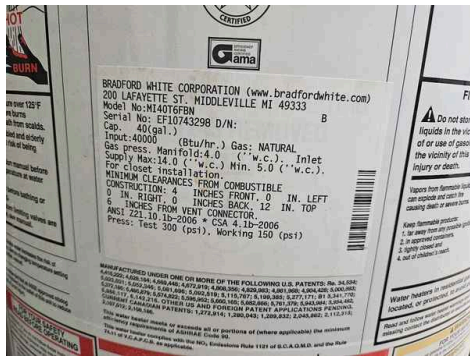
Washer: Photos



Furnace: Photos



Water Heater - Indirect: Photos



STANDARDS OF PRACTICE

Inspection Details

NEW JERSEY REGISTER
VOLUME 34, NUMBER 11
RULE ADOPTION
LAW AND PUBLIC SAFETY
DIVISION OF CONSUMER AFFAIRS
STATE BOARD PROFESSIONAL ENGINEERS AND LAND SURVEYORS
HOME INSPECTION ADVISORY COMMITTEE

Federal Standards Statement

A Federal standards analysis is not required for the adopted new rules because the subject matter is not subject to Federal standards.

SUBCHAPTER 15. HOME INSPECTION ADVISORY COMMITTEE

N.J. Admin. Code § 13:40-15.16

Section 13:40-15.16 Standards of practice

(a) All licensees shall comply with the standards of practice contained in this section when conducting home inspections. The scope of home inspection services performed in compliance with the standards set forth in this section shall provide the client with objective information regarding the condition of the systems and components of the home as determined at the time of the home inspection.

(b) Nothing in this section shall be construed to require a licensee to:

1. Enter any area or perform any procedure that is, in the opinion of the licensee, unsafe and likely to be dangerous to the inspector or other persons;
2. Enter any area or perform any procedure that will, in the opinion of the licensee, likely damage the property or its systems or components;
3. Enter any area which does not have at least 24 inches of unobstructed vertical clearance and at least 30 inches of unobstructed horizontal clearance;
4. Identify concealed conditions and latent defects;
5. Determine life expectancy of any system or component;
6. Determine the cause of any condition or deficiency;
7. Determine future conditions that may occur including the failure of systems and components including consequential damage;
8. Determine the operating costs of systems or components;
9. Determine the suitability of the property for any specialized use;
10. Determine compliance with codes, regulations and/or ordinances;
11. Determine market value of the property or its marketability;
12. Determine advisability of purchase of the property;
13. Determine the presence of any potentially hazardous plants, animals or diseases or the presence of any suspected hazardous substances or adverse conditions such as mold, fungus, toxins, carcinogens, noise, and contaminants in soil, water, and air;

14. Identify the presence of, or determine the effectiveness of, any system installed or method utilized to control or remove suspected hazardous substances;
15. Operate any system or component which is shut down or otherwise inoperable;
16. Operate any system or component which does not respond to normal operating controls;
17. Operate shut-off valves;
18. Determine whether water supply and waste disposal systems are public or private;
19. Insert any tool, probe or testing device inside electrical panels;
20. Dismantle any electrical device or control other than to remove the covers of main and sub panels;
21. Inspect, identify, or disclose ancillary electrical devices and/or systems, such as, but not limited to, Arc Fault Circuit Interrupters (AFCIs), standby generators, and photovoltaic (solar) panels;
22. Walk on unfloored sections of attics; and
23. Light pilot flames or ignite or extinguish fires.

(c) Licensees shall:

1. Inspect the following systems and components in residential buildings and other related residential housing components:
 - i. Structural components as required by (e) below;
 - ii. Exterior components as required by (f) below;
 - iii. Roofing system components as required by (g) below;
 - iv. Plumbing system components as required by (h) below;
 - v. Electrical system components as required by (i) below;
 - vi. Heating system components as required by (j) below;
 - vii. Cooling system components as required by (k) below;
 - viii. Interior components as required by (l) below;
 - ix. Insulation components and ventilation system as required by (m) below; and
 - x. Fireplaces and solid fuel burning appliances as required by (n) below;
2. Prepare a home inspection report, which shall:
 - i. Disclose those systems and components as set forth in (c)1 above which were present at the time of inspection;
 - ii. Disclose systems and components as set forth in (c)1 above that were present at the time of the home inspection, but were not inspected, and the reason(s) they were not inspected:
 - (1) If a system and/or component was present at the time of inspection, but not inspected at the request of the client or because the system or component could not be observed, the report must note this.
 - iii. Describe the systems and components specified in (c)1 above;
 - iv. State material defects found in systems or components specified in (c)1 above;
 - v. State the significance of findings where any material defects in the systems and components of (c)1 above were found; and
 - vi. Provide recommendations where material defects were found to repair, replace, or monitor a system or component specified in (c)1 above or to obtain examination and analysis by a qualified professional, tradesman, or service technician without determining the methods, materials, or cost of corrections; and
3. Retain copies of all home inspection reports prepared pursuant to (c)2 above, for a period of five years upon completion of the report;

(d) Subsection (c) above is not intended to limit licensees from:

1. Inspecting or reporting observations and conditions observed in systems and components in addition to those required in (c)1 above and inspecting systems and components other than those mandated for inspection in (c)1 above, as

long as the inspection and reporting is based on the licensee's professional opinion, prior work experience, education, and training, unless these standards of practice prohibit the licensee from inspecting such systems or components.

2. Contracting with the client to provide, for an additional fee, additional inspection services provided the licensee is educated, trained, certified, registered, or licensed, pursuant to the provisions of N.J.A.C. 13:40-15.21 and other applicable statutes and rules; and

3. Excluding systems and components from the inspection pursuant to N.J.A.C. 13:40- 15.15(b) and (c)2ii above.

(e) When conducting the inspection of the structural components, the licensee shall:

1. Inspect:

- i. Foundation;
- ii. Floors;
- iii. Walls;
- iv. Ceilings; and
- v. Roof;

2. Describe:

- i. Foundation construction type and material;
- ii. Floor construction type and material;
- iii. Wall construction type and material;
- iv. Ceiling construction type and material; and
- v. Roof construction type and material;

3. Probe structural components where deterioration is suspected unless such probing would damage any finished surface; and

4. Describe in the home inspection report the methods used to inspect under-floor crawl spaces and attics.

(f) When conducting the inspection of the exterior components, a licensee shall:

1. Inspect:

- i. Exterior surfaces, excluding shutters, and screening, awnings, and other similar seasonal accessories;
- ii. Exterior doors excluding storm doors or safety glazing;
- iii. Windows excluding storm windows and safety glazing;
- iv. Attached or adjacent decks, balconies, stoops, steps, porches, and their railings;
- v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

vi. Attached or adjacent walkways, patios, and driveways; and

vii. Garage doors including automatic door openers and entrapment protection mechanisms, excluding remote control devices; and

2. Describe exterior wall surface type and material.

(g) When inspecting the roof of a residential building, the licensee shall:

1. Inspect:

- i. Roofing surface, excluding antennae and other installed accessories such as solar heating systems, lightning arresters, and satellite dishes;
- ii. Roof drainage systems;
- iii. Flashing;
- iv. Skylights; and

v. Exterior of chimneys;

2. Describe:

i. Roof surface;

ii. Deficiencies of the roof drainage systems;

iii. Deficiencies in the flashing;

iv. Skylights; and

v. Chimneys;

3. Employ reasonable, practicable, and safe methods to inspect the roof, such as:

i. Walking on the roof;

ii. Observation from a ladder at roof level;

iii. Visual examination with binoculars from ground level; or

iv. Through the use of a drone or similar unmanned aircraft systems (consistent with applicable State or Federal laws, rules, and regulations on licensure or certification requirements for the commercial use of drones or similar unmanned aircraft systems); and

4. Describe the methods used to inspect the roof.

(h) When inspecting the plumbing system, a licensee shall:

1. Inspect:

i. Interior water supply and distribution systems including functional water flow and functional drainage, excluding wells, well pumps, well water sampling or water storage related equipment, determination of water supply quantity or quality and water conditioning systems and lawn irrigation systems;

ii. All interior fixtures and faucets, excluding shut off valves, wells, well pumps, well water sampling and water storage related equipment;

iii. Drain, waste and vent systems;

iv. Domestic water heating systems, without operating safety valves or automatic safety controls, and excluding solar water heating systems;

v. Combustion vent systems excluding interiors of flues and chimneys;

vi. Fuel distribution systems; and

vii. Drainage sumps, sump pumps and related piping; and

2. Describe:

i. Predominant interior water supply and distribution piping materials, including the presence of lead water service and/or supply piping;

ii. Predominant drain, waste and vent piping materials; and

iii. Water heating equipment including energy sources.

(i) When inspecting the electrical system, a licensee shall:

1. Inspect:

i. Service entrance system;

ii. Main disconnects, main panel and sub panels, including interior components of main panel and sub panels;

iii. Service grounding;

iv. Wiring, without measuring amperage, voltage or impedance, excluding any wiring not a part of the primary electrical power distribution system, such as central vacuum systems, remote control devices, telephone or cable system wiring, intercom systems, security systems and low voltage wiring systems;

v. Over-current protection devices and the compatibility of their ampacity with that of the connected wiring;

vi. At least one of each interior installed lighting fixture, switch, and receptacle per room and at least one exterior installed lighting fixture, switch, and receptacle per side of house; and

vii. Ground fault circuit interrupters; and

2. Describe:

i. Amperage and voltage rating of the service;

ii. Location of main disconnect, main panels, and sub-panels;

iii. Type of over-current protection devices;

iv. Predominant type of wiring;

v. Presence of knob and tube branch circuit wiring; and

vi. Presence of solid conductor aluminum branch circuit wiring.

(j) When inspecting the heating system, a licensee shall:

1. Inspect:

i. Installed heating equipment and energy sources, without determining heat supply adequacy or distribution balance, and without operating automatic safety controls or operating heat pumps when weather conditions or other circumstances may cause damage to the pumps, and excluding humidifiers, electronic air filters and solar heating systems;

ii. Combustion vent systems and chimneys, excluding interiors of flues or chimneys;

iii. Fuel storage tanks, excluding propane and underground storage tanks; and

iv. Visible and accessible portions of the heat exchanger; and

2. Describe:

i. Heating equipment and distribution type; and

ii. Energy sources.

(k) When inspecting the cooling system, a licensee shall:

1. Inspect:

i. Central cooling system, excluding electronic air filters and excluding determination of cooling supply adequacy or distribution balance and without operating central cooling equipment when weather conditions or other circumstances may cause damage to the cooling equipment;

ii. Permanently installed hard-wired, through-wall individual cooling systems; and

iii. Energy sources; and

2. Describe:

i. Cooling equipment and distribution type; and

ii. Energy sources.

(l) When inspecting the interior of a residential building, a licensee shall:

1. Inspect:

i. Walls, ceilings, and floors excluding paint, wallpaper and other finish treatments, carpeting and other non-permanent floor coverings;

ii. Steps, stairways, and railings;

iii. Installed kitchen wall cabinets to determine if secure;

iv. At least one interior passage door and operate one window per room excluding window treatments; and

v. Household appliances limited to:

(1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;

(2) Dishwasher to determine water supply and drainage; and

(3) Garbage disposer.

(m) When inspecting the insulation components and ventilation system of a residential building, the licensee shall:

1. Inspect:

i. Insulation in unfinished spaces without disturbing insulation;

ii. Ventilation of attics and crawlspaces; and

iii. Mechanical ventilation systems; and

2. Describe:

i. Insulation in unfinished spaces adjacent to heated areas; and

ii. Evidence of inadequate attic and crawlspace ventilation.

(n) When inspecting fireplaces and solid fuel burning appliances, a licensee shall:

1. Inspect:

i. Fireplaces and solid fuel burning appliances, without testing draft characteristics, excluding fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and non-structural fireplace surrounds, combustion make-up air devices, or gravity fed and fan assisted heat distribution systems; and

ii. Chimneys and combustion vents excluding interiors of flues and chimneys; and

2. Describe:

i. Type of fireplaces and/or solid fuel burning appliances;

ii. Energy source; and

iii. Visible evidence of improper draft characteristics.

Amended by 52 N.J.R. 46(a), effective 1/6/2020

Final Walkthrough Final Walk-Through Procedure

At the conclusion of the inspection, the inspector will perform a **final walk-through** of the property to ensure everything is left in a secure and safe condition. This includes:

Verifying that **all appliances are turned off**

Ensuring **all lights are off**

Returning the **thermostat to its original settings**

Confirming **all water fixtures are off**

Ensuring **electrical panel covers are securely fastened**

Checking that **all windows are secured shut**

This procedure helps protect the property and ensures everything is left as it was found.